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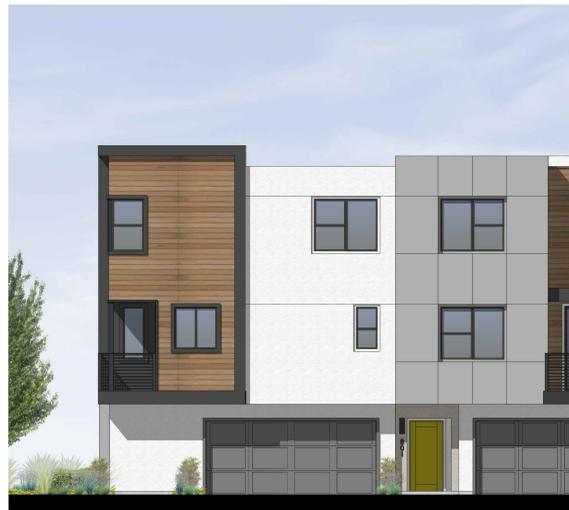
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Architecture + Planning
 888.456.5849
 ktgy.com

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 15131 Alton Parkway, Suite 365
 Irvine, CA 92618

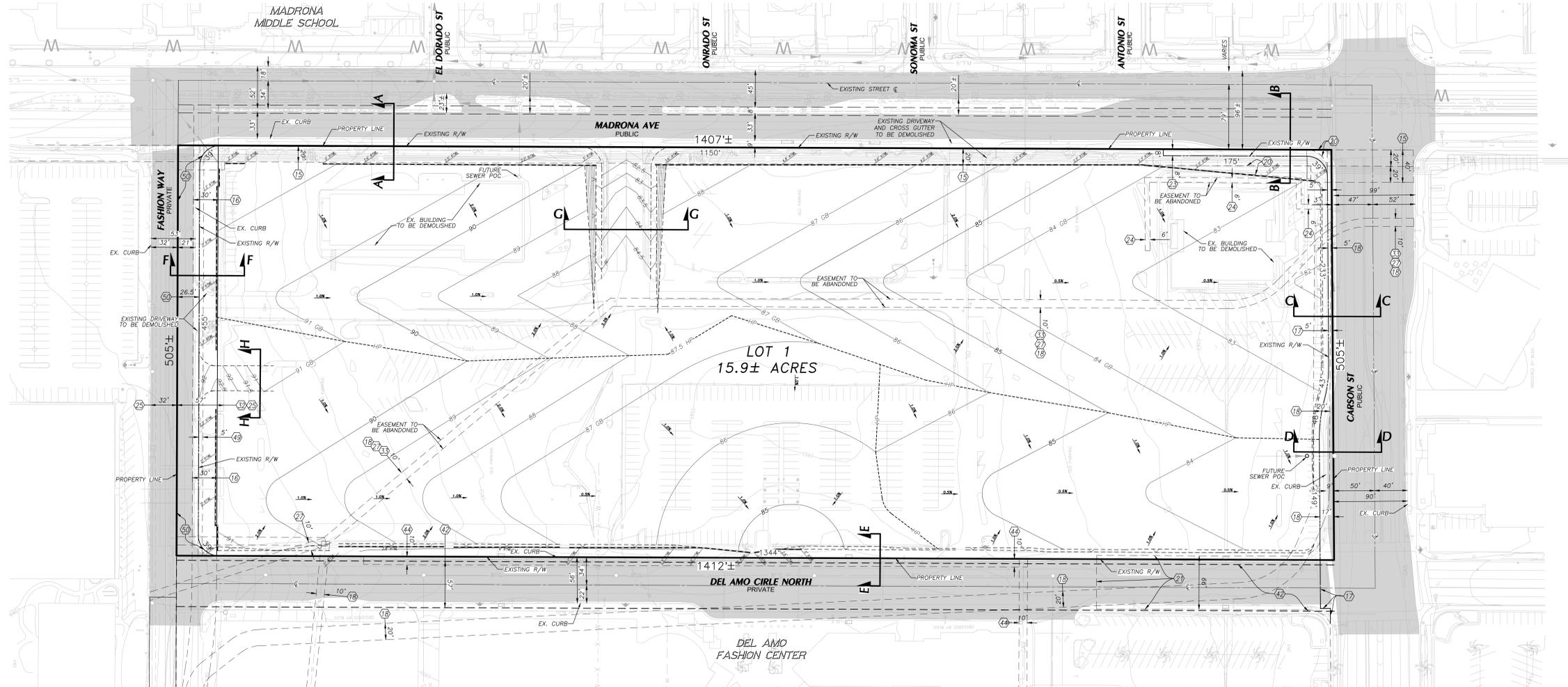
DEL AMO
 TORRANCE, CA # 2020-0686

SCHEMATIC DESIGN
 MAY 20, 2024

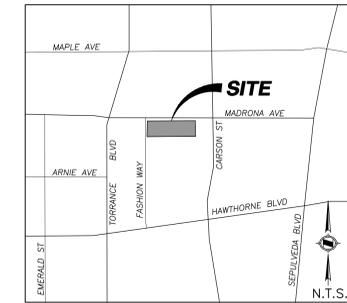
VESTING TENTATIVE TRACT MAP 83498 FOR CONDOMINIUM PURPOSES

LEGAL DESCRIPTION

IN THE CITY OF TORRANCE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, BEING PARCEL 6 AND PORTIONS OF PARCELS 4, 7, 8 AND 9 OF PARCEL MAP NO. 1387, AS PER A MAP FILED IN BOOK 23 PAGES 71 AND 72 OF PARCEL MAPS IN THE OFFICE OF THE REGISTRAR-RECORDER/ COUNTY CLERK OF SAID COUNTY.



VICINITY MAP



NOTES

- EXISTING LAND USE: COMMERCIAL BUILDINGS & PARKING LOTS.
- PROPOSED LAND USE: RESIDENTIAL
- EXISTING ZONING: HBCSP (DA1) - HAWTHORNE BOULEVARD CORRIDOR SPECIFIC PLAN ZONE (DEL AMO BUSINESS SUB-DISTRICT ONE)
- DISTRICT: 3 & HAWTHORNE BLVD. OVERLAY DISTRICT
- EXISTING GENERAL PLAN: C-CTR COMMERCIAL CENTER
- PROPOSED DEVELOPMENT IS WITHIN TORRANCE UNIFIED SCHOOL DISTRICT.
- GROSS SITE AREA: 16.35 AC
- NET SITE AREA: 15.88 AC
- ALL UTILITIES SHALL BE UNDERGROUND.
- ALL STREET IMPROVEMENTS AND GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH PUBLIC WORKS STANDARDS.
- OWNER MAY RECORD MULTIPLE FINAL MAPS
- THIS LAND IS NOT SUBJECT TO OVERFLOW, INUNDATION, OR FLOOD HAZARD.
- GRADED SLOPES SHALL BE 2:1 UNLESS OTHERWISE SHOWN.
- DATE TOPO FLOWN: 11/19/20

UTILITY CONTACTS

GAS	SOUTHERN CALIFORNIA GAS CO. (800) 427-2000
ELECTRICAL	GOLDEN STATE ELECTRIC (800) 655-6555
WATER	CALIFORNIA WATER SERVICES (310) 257-1400
SEWER	COUNTY OF LOS ANGELES SANITATION DISTRICT (800) 238-0172
TELEPHONE	AT&T (800) 331-0500
CABLE T. V.	SPECTRUM (855) 366-7132

ASSESSOR'S PARCEL NO.

7366-019-123, 7366-019-182, 7366-019-183

LOT SUMMARY

LOT 1: 15.9± AC

STATEMENT OF OWNERSHIP

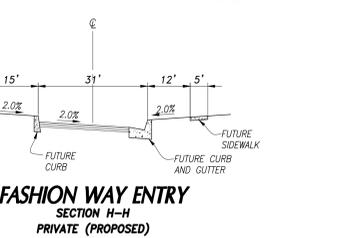
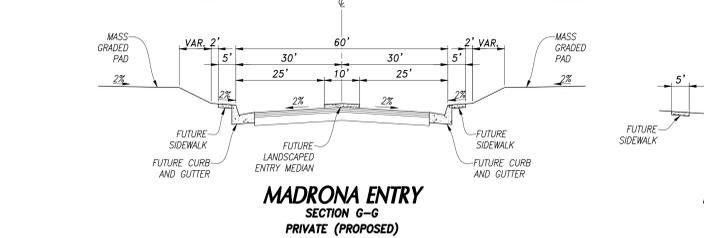
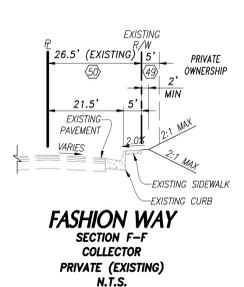
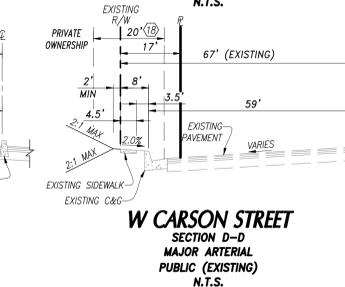
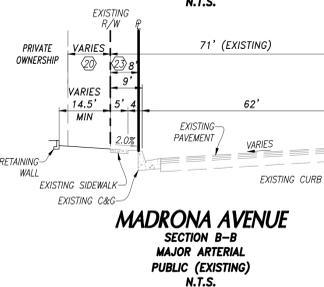
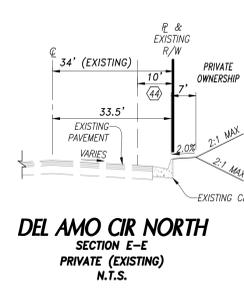
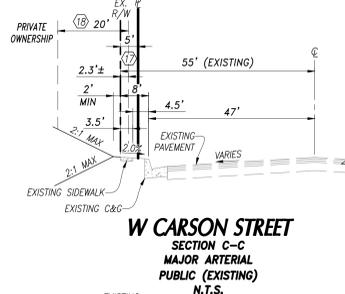
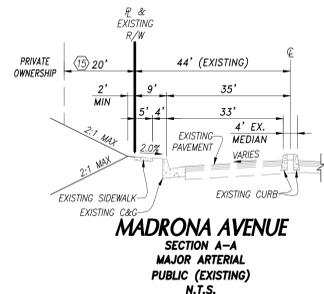
I HEREBY STATE THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT THE OWNER OF RECORD HAS KNOWLEDGE OF AND CONSENTS TO THE FILING OF THIS MAP.

SEAN SWANSON

DATE 4/18/2024



STREET SECTIONS

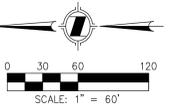


EXISTING EASEMENTS

- AN EASEMENT FOR PIPELINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JANUARY 30, 1970 AS INSTRUMENT NO. 1021 OF OFFICIAL RECORDS. (SURVEYORS NOTE: PARCELS 1, 2 & 3 PLOTTED, NOT PLOTTED IS A BLANKET INGRESS AND EGRESS EASEMENT TO ACCESS THE OTHER PARCELS IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY)
- THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "GRANT OF EASEMENTS" RECORDED JANUARY 30, 1970 AS INSTRUMENT NO. 1036 OF OFFICIAL RECORDS. (PLOTTED) IN FAVOR OF: CITY OF TORRANCE, A MUNICIPAL CORPORATION
- EASEMENTS, RIGHTS, COVENANTS, CONDITIONS, RESTRICTIONS AND PROVISIONS, AS MORE FULLY DESCRIBED AND CONTAINED IN DEED EXECUTED BY CARSON-MADRONA CO., A PARTNERSHIP, TO THE CITY OF TORRANCE, A MUNICIPAL CORPORATION, RECORDED MARCH 2, 1971 AS INSTRUMENT NO. 3000 IN BOOK D-4884, PAGE 853, OFFICIAL RECORDS. (PLOTTED) IN FAVOR OF: CITY OF TORRANCE, A MUNICIPAL CORPORATION
- AN EASEMENT FOR UNDERGROUND STORM DRAINS AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JUNE 22, 1971 AS INSTRUMENT NO. 3040 IN BOOK D-5097, PAGE 706 OF OFFICIAL RECORDS. DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED DECEMBER 30, 2005 AS INSTRUMENT NO. 05-3231945 OF OFFICIAL RECORDS. (REVISED LOCATION OF A PORTION PLOTTED) SAID EASEMENT WAS AMENDED BY AN INSTRUMENT ENTITLED "AMENDMENT TO DRAINAGE EASEMENT AGREEMENT" DATED AS OF DECEMBER 22, 2005 EXECUTED BY AND BETWEEN DEL AMO RESIDUAL OPERATING COMPANY, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY AND DEL AMO FASHION CENTER OPERATING COMPANY, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY AND RECORDED DECEMBER 30, 2005 AS INSTRUMENT NO. 05-3231946 OF OFFICIAL RECORDS. (SAME REVISED LOCATION BUT JUST THE PORTION ON SITE) IN FAVOR OF: CITY OF TORRANCE, A MUNICIPAL CORPORATION
- AN EASEMENT FOR PIPELINES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED JUNE 08, 1972 AS INSTRUMENT NO. 2353 IN BOOK D-5487, PAGE 195 OF OFFICIAL RECORDS. (PLOTTED) IN FAVOR OF: STANDARD OIL COMPANY OF CALIFORNIA, A CORPORATION
- AN EASEMENT FOR TRAFFIC CONTROL DEVICES AND INCIDENTAL PURPOSES, RECORDED JULY 30, 1975 AS INSTRUMENT NO. 2876 OF OFFICIAL RECORDS. (PLOTTED) IN FAVOR OF: CITY OF TORRANCE
- AN EASEMENT FOR PUBLIC STREET AND HIGHWAY AND INCIDENTAL PURPOSES, RECORDED DECEMBER 11, 1978 AS INSTRUMENT NO. 28-1372686 OF OFFICIAL RECORDS. (PLOTTED) IN FAVOR OF: CITY OF TORRANCE
- AN OFFER OF DEDICATION FOR PUBLIC STREET AND HIGHWAY AND INCIDENTAL PURPOSES, RECORDED DECEMBER 11, 1978 AS INSTRUMENT NO. 28-1372686 OF OFFICIAL RECORDS. (PLOTTED) TO: THE CITY OF TORRANCE, A MUNICIPAL CORPORATION
- AN EASEMENT FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES, RECORDED MARCH 30, 1979 AS INSTRUMENT NO. 79-348527 OF OFFICIAL RECORDS. (PLOTTED) IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY
- THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "FIRST AGREEMENT AMENDING AND RESTATING EASEMENT RESTRICTION AND OPERATING AGREEMENT" RECORDED JULY 08, 1980 AS INSTRUMENT NO. 80-648176 OF OFFICIAL RECORDS. DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED DECEMBER 08, 2004 AS INSTRUMENT NO. 04-3165032 OF OFFICIAL RECORDS. (PLOTTED) DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED JANUARY 09, 2006 AS INSTRUMENT NO. 06-42561 OF OFFICIAL RECORDS. (MODIFICATIONS DON'T APPEAR TO AFFECT THE SUBJECT FEE PARCELS OF THIS SURVEY) DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED APRIL 29, 2014 AS INSTRUMENT NO. 14-438937 OF OFFICIAL RECORDS. (MODIFICATIONS DO NOT APPEAR TO AFFECT THE SUBJECT FEE PARCELS OF THIS SURVEY) IN FAVOR OF: CITY OF TORRANCE, A MUNICIPAL CORPORATION
- NON-EXCLUSIVE PERMANENT AND TEMPORARY EASEMENTS, RESERVATIONS, PROVISIONS AND COVENANT, AS MORE FULL SET FORTH IN THE GRANT OF EASEMENTS TO GREAT LAKES PROPERTIES, INC., A DELAWARE CORPORATION, RECORDED NOVEMBER 24, 1980 AS INSTRUMENT NO. 80-1185173, OFFICIAL RECORDS. (SURVEYORS NOTE: SAME AS 1ST MOD OF ITEM 18) IN FAVOR OF: CITY OF TORRANCE, A MUNICIPAL CORPORATION
- A PERPETUAL NON-EXCLUSIVE RIGHT AND EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS, AS CREATED BY THAT CERTAIN DOCUMENT ENTITLED "RECIPROCAL ACCESS EASEMENT AGREEMENT" DATED DECEMBER 29, 2004 EXECUTED BY DEL AMO RESIDUAL OPERATING COMPANY, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY AND DEL AMO FASHION CENTER OPERATING COMPANY, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY, SUBJECT TO ALL THE TERMS, PROVISIONS AND CONDITIONS THEREIN CONTAINED, RECORDED DECEMBER 30, 2004 AS INSTRUMENT NO. 04-3392908, OFFICIAL RECORDS. (EXHIBIT C IS THE SAME AS APPURTENANT FASHION WAY. ONLY PORTIONS ON THE FEE PARCEL ARE LABELED HEREON) IN FAVOR OF: CITY OF TORRANCE, A MUNICIPAL CORPORATION
- A NON-EXCLUSIVE EASEMENT FOR THE COLLECTION AND DRAINAGE OF SURFACE WATER, AS CREATED BY THAT CERTAIN DOCUMENT ENTITLED "DRAINAGE EASEMENT AGREEMENT" DATED DECEMBER 29, 2004 EXECUTED BY DEL AMO RESIDUAL OPERATING COMPANY, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY AND DEL AMO FASHION CENTER OPERATING COMPANY, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY, SUBJECT TO ALL THE TERMS, PROVISIONS AND CONDITIONS THEREIN CONTAINED, RECORDED DECEMBER 30, 2004 AS INSTRUMENT NO. 04-3392909, OFFICIAL RECORDS. (SAME AS ITEM 18 PLOTTED HEREON) DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED DECEMBER 30, 2005 AS INSTRUMENT NO. 05-3231946 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF TORRANCE, A MUNICIPAL CORPORATION
- THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT AGREEMENT (DEL AMO CIRCLE EAST)" RECORDED DECEMBER 30, 2005 AS INSTRUMENT NO. 05-3231953 OF OFFICIAL RECORDS. (PLOTTED OFFSITE DEL AMO CIRCLE EAST) IN FAVOR OF: CITY OF TORRANCE, A MUNICIPAL CORPORATION
- AN EASEMENT FOR TRANSPORTATION OF GAS, ENERGY, COMMUNICATIONS, PETROLEUM PRODUCTS AND OTHER SUBSTANCES, RIGHTS OF INGRESS, EGRESS AND INCIDENTAL PURPOSES, RECORDED APRIL 05, 2006 AS INSTRUMENT NO. 06-0745326 OF OFFICIAL RECORDS. IN FAVOR OF: SOUTHERN CALIFORNIA GAS COMPANY, A CALIFORNIA CORPORATION AFFECTS: AS DESCRIBED THEREIN DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED JUNE 21, 2006 AS INSTRUMENT NO. 06-1364669 OF OFFICIAL RECORDS.
- AN EASEMENT FOR SIDEWALK, UTILITY, PLANTING, LANDSCAPING AND INCIDENTAL PURPOSES, RECORDED APRIL 24, 2017 AS INSTRUMENT NO. 17-48527 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF TORRANCE, A MUNICIPAL CORPORATION
- AN EASEMENT FOR STREET, HIGHWAY AND INCIDENTAL PURPOSES, RECORDED MAY 02, 2017 AS INSTRUMENT NO. 17-48527 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF TORRANCE, A MUNICIPAL CORPORATION (PLOTTED FASHION WAY)

LEGEND

- PROPERTY LINE
- EXISTING RIGHT OF WAY
- EXISTING CENTER LINE
- RATE OF GRADE
- PROPOSED CONTOUR & ELEVATION
- EXISTING CONTOUR & ELEVATION
- SLOPE
- RETAINING WALL
- RETAINING WALL HEIGHT
- EXISTING FIRE HYDRANT
- EXISTING GRAVITY SEWER
- EXISTING SEWER FORCE MAIN
- EXISTING WATER
- EXISTING STORM DRAIN
- EXISTING OIL LINE
- EXISTING GAS



DATE	REVISION DESCRIPTION

APPLICANT: **LENNAR**
LENNAR HOMES OF CALIFORNIA - COSTAL DIVISION
2000 PLYMOUTH SUITE 365
IRVINE, CA 92614
(949) 498-8000

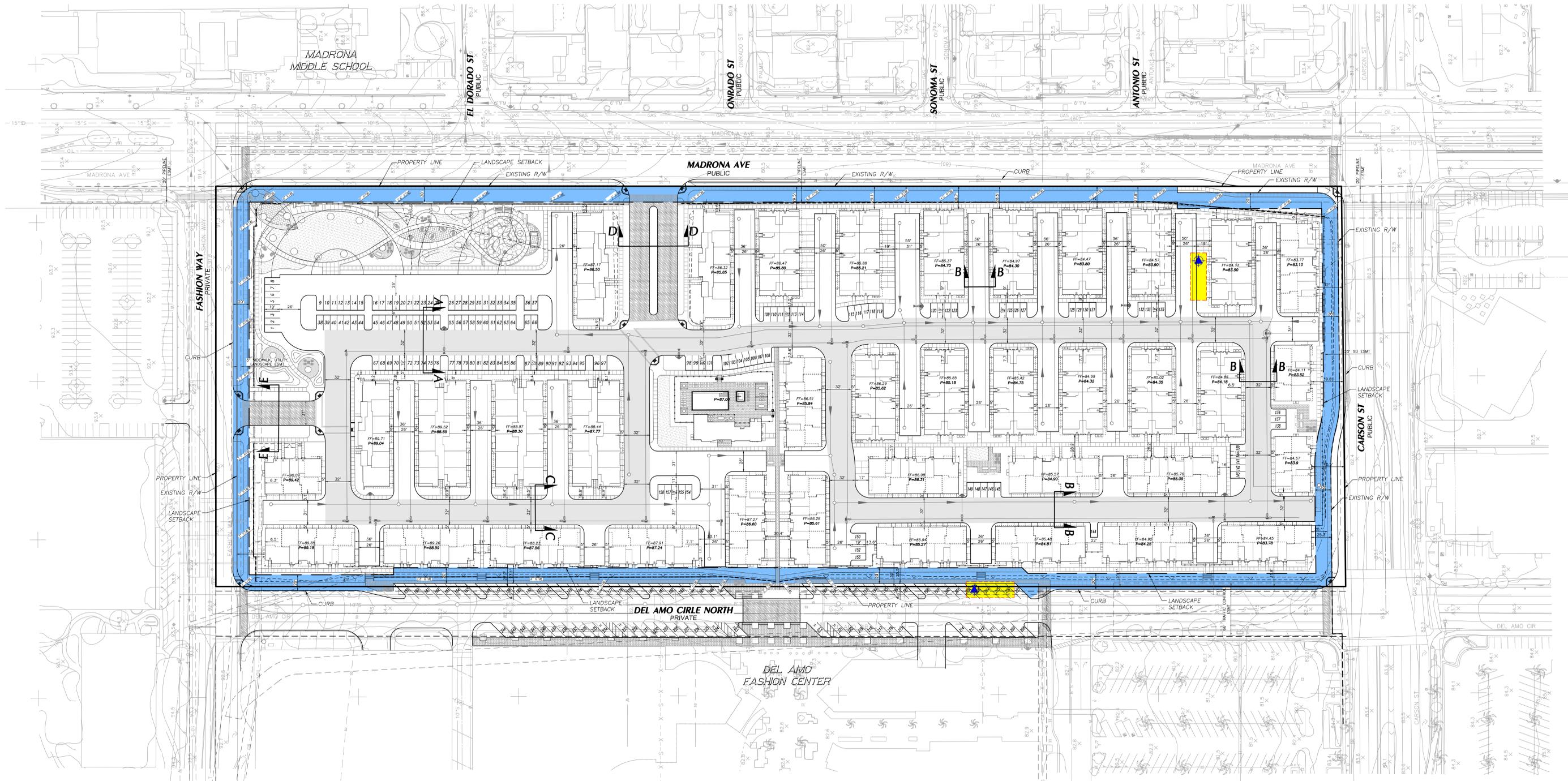
PREPARED BY: **HUNSAKER & ASSOCIATES**
IRVINE, INC.
PLANNING • ENGINEERING • SURVEYING
Three Hanks • Irvine, CA 92618 • TEL (949) 253-9318 • FAX (949) 253-9379

CITY OF TORRANCE

VESTING TENTATIVE TRACT NO. 83498 FOR CONDOMINIUM PURPOSES

DESIGNED BY: SG/TS DATE: 04/18/24 CITY FILE NO.:
 DRAFTED BY: TS
 CHECKED BY: SS

SHEET **TTM-1**

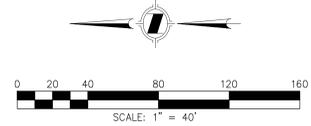
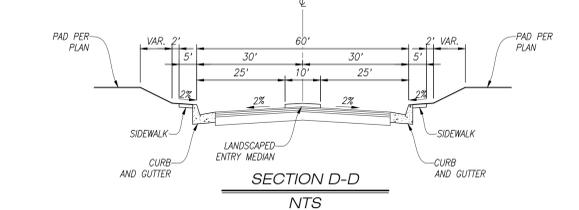
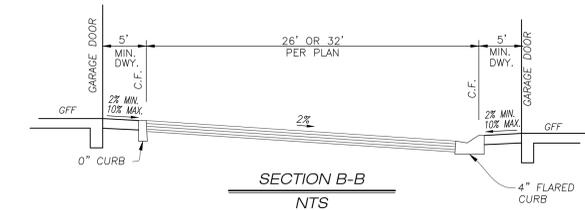
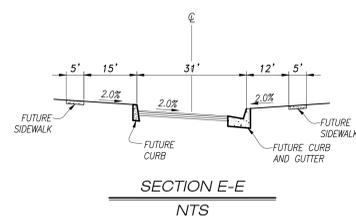
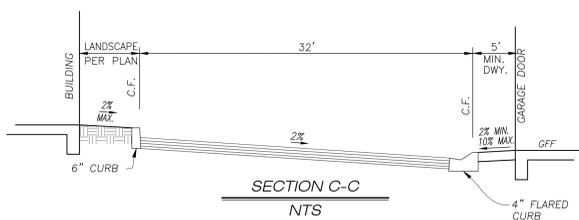
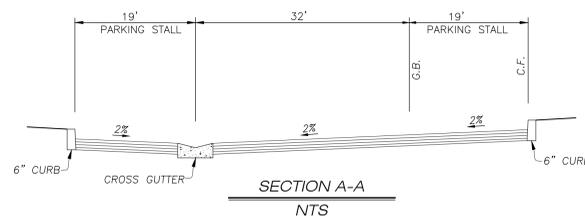


PARKING COUNT

244 SPACES

LEGEND

-  ABANDONED OIL AND GAS WELL
-  60'X20' STANDARD RIG FOOTPRINT
-  32' WIDE ROAD
-  20' LANDSCAPE SETBACK



REVISION	
DATE	DESCRIPTION

PREPARED FOR:
LENNAR
 2000 FIVEPOINT, 3RD FLOOR
 IRVINE, CA 92618
 (949) 349-8000
 ATTN: GARY JONES

PREPARED BY:
HUNSAKER & ASSOCIATES
 IRVINE, INC.
 PLANNING • ENGINEERING • SURVEYING
 Three Hughes • Irvine, CA 92618 • P: (949) 251-1100 • F: (949) 251-0759

DEL AMO TRACT 83498 TECHNICAL SITE PLAN

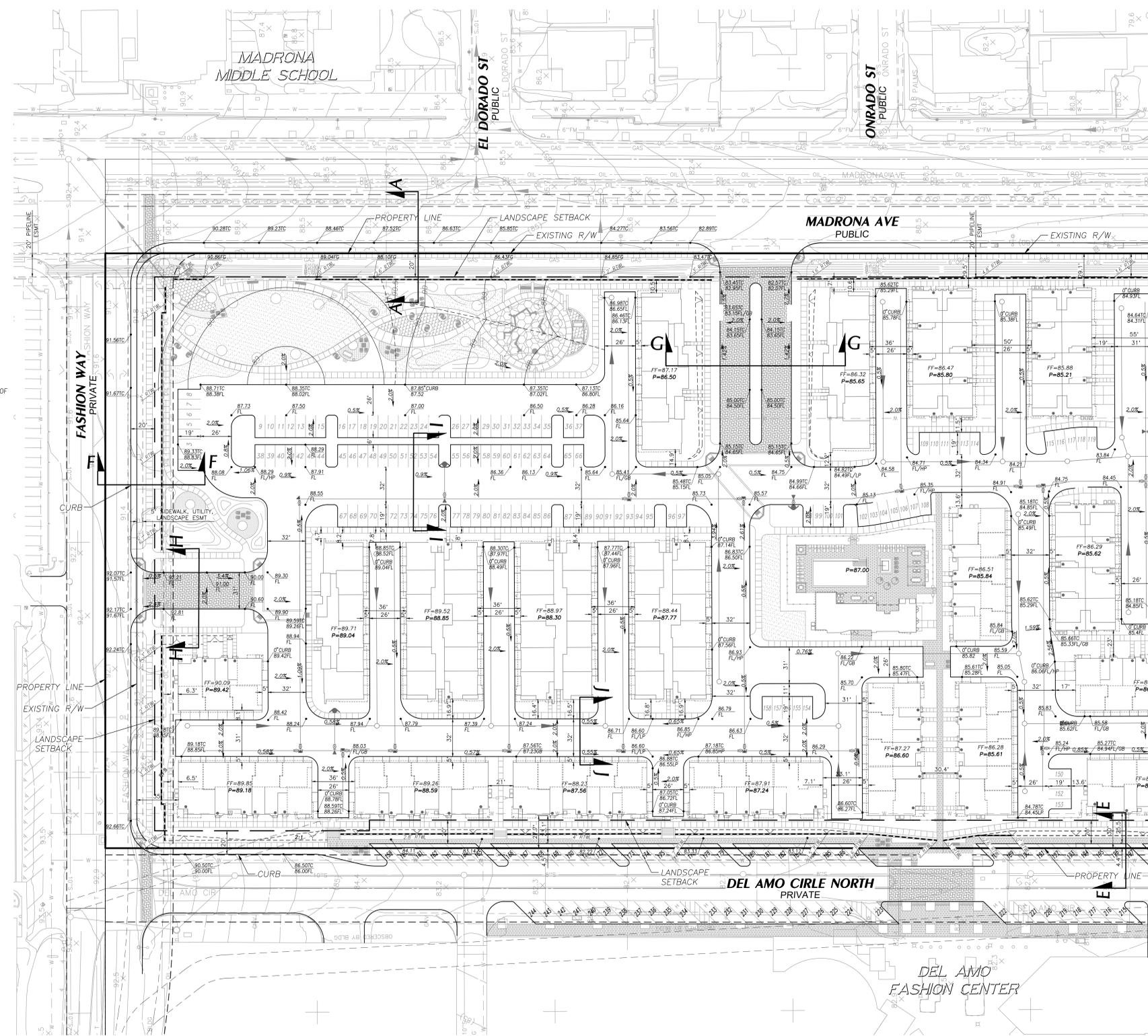
DESIGNED BY: SS/TS DATE: 04/18/24 CITY FILE NO.:
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 CHECKED BY: SS

CITY OF TORRANCE - GRADING PLAN NOTES

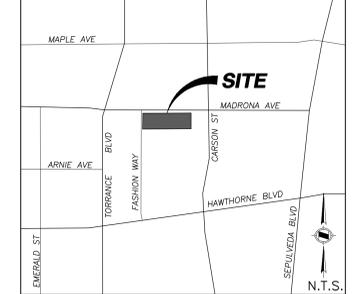
- GRADING OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH THE CODE OF THE CITY OF TORRANCE AND ALL REVISIONS THEREOF.
- A PRE-JOB MEETING WITH THE GRADING INSPECTOR, (310) 618-5915, IS REQUIRED PRIOR TO THE START OF GRADING OPERATIONS. SUBSEQUENT INSPECTIONS SHALL BE REQUESTED IN ACCORDANCE WITH THE INSPECTOR'S INSTRUCTIONS OF THE FIRST INSPECTION.
- ESTIMATED EARTHWORK YARDAGE INCLUDING RECOMPACTION OF SUMPS OR EXISTING LOOSE FILL:
 FILL IN LOTS: CUBIC YARDS MAXIMUM DEPTH OF FILL: _____ FEET
 CUT IN LOTS: CUBIC YARDS MAXIMUM DEPTH OF CUT: _____ FEET
 OVEREXCAVATION & RECOMPACTION: CUBIC YARDS _____ FEET
 PAVING AREA: _____ SF
- EXISTING GROUND UPON WHICH FILL OR BASE IS TO BE PLACED SHALL BE CLEARED OF WEEDS, DEBRIS, TOPSOIL, AND ALL OTHER DELETERIOUS MATERIALS; NO FILL SHALL BE PLACED UNTIL PREPARATION OF THE EXISTING GROUND HAS BEEN APPROVED BY THE SOILS ENGINEER OF RECORD AND BY THE INSPECTOR.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR AND THE OWNER TO PROTECT ADJACENT PROPERTY, PUBLIC AND UTILITIES DURING GRADING OPERATIONS. THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE UNDERGROUND UTILITY PIPES, CONDUITS, OR STRUCTURES, WHETHER SHOWN OR NOT ON THE PLAN.
- WATER CONTENT SHALL BE CONTROLLED AS DETERMINED BY THE SOILS ENGINEER AND THE INSPECTOR.
- PERMISSION SHALL BE SECURED FROM THE ENGINEERING DEPARTMENT IF THE TRUCKS ARE LOADED IN THE STREET.
- UNSATURATED MATERIAL SHALL BE DISPOSED OF OFF-SITE. THE LOCATION OF DUMPING EXCESS SOIL SHALL BE APPROVED BY THE GRADING INSPECTOR PRIOR TO STARTING EXCAVATION.
- LOOSE MATERIAL SHALL NOT EXCEED 3" IN DEPTH ON A FILLED SLOPE.
- ALL SLOPES SO DESIGNATED SHALL BE PLANTED WITH AN APPROVED PERENNIAL FOR EROSION CONTROL. PLANTING SHALL BE SPRINKLERED AND MAINTAINED UNTIL PLANTING HAS REACHED MATURE GROWTH.
- ALL LOOSE ON SITE FILL SHALL BE REMOVED AND COMPACTED.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN THE SOILS REPORT BY DATED _____ AND THE GEOLOGICAL REPORT BY _____.
- ALL MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM 90 PERCENT OF THE MAXIMUM DRY DENSITY OF THE FILL MATERIAL PER THE LATEST VERSION OF ASTM D1557.
- SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
 A. ONE TEST FOR EACH TWO FOOT VERTICAL LIFT.
 B. ONE TEST FOR EACH 500 CUBIC YARDS OF MATERIAL PLACED.
 C. ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE IN EACH FOUR FOOT VERTICAL LIFT OF PORTION THEREOF.
 D. ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR FOOT VERTICAL LIFT OR PORTION THEREOF.
- IMPORT SOILS SHOULD CONSIST OF CLEAN, COMPACTABLE MATERIALS POSSESSING EXPANSION CHARACTERISTICS SIMILAR TO OR BETTER THAN THE UPPER ON-SITE SOILS. IMPORT SOILS SHOULD BE FREE OF TRASH, DEBRIS OR OTHER OBJECTIONABLE MATERIALS. CONTRACTOR SHALL NOTIFY THE PROJECT GEOTECHNICAL ENGINEER NOT LESS THAN 72 HOURS IN ADVANCE OF THE LOCATION OF ANY SOILS PROPOSED FOR IMPORT. EACH PROPOSED IMPORT SOURCE SHALL BE SAMPLED, TESTED, AND APPROVED PRIOR TO DELIVERY OF SOILS FOR USE ON THE SITE.
- ALL FILL UNDER THE BUILDING FOUNDATION MUST BE CERTIFIED BY THE SOILS ENGINEER AS TO PROPER BEARING VALUE DESIGN AND ITS COMPLIANCE WITH THE PRELIMINARY SOILS REPORT ON NOTE 13.
- ALL SUBGRADE UNDER AREAS TO BE PAVED SHALL BE CERTIFIED BY THE SOILS ENGINEER IN COMPLIANCE WITH SECTION 81.2.34(G) OF THE TORRANCE MUNICIPAL CODE.
- THE ENGINEERING GEOLOGIST, SOILS ENGINEER AND CIVIL ENGINEER, IN COMPLIANCE WITH SECTION 81.2.37(G) OF THE TORRANCE MUNICIPAL CODE, SHALL PROVIDE THE DEPARTMENT WITH A GRADING CERTIFICATION UPON COMPLETION OF THE JOB.
- AN AS-GRADED PLAN PREPARED BY THE CIVIL ENGINEER OF RECORD SHALL BE SUBMITTED WITH THE REQUIRED GRADING CERTIFICATIONS TO THE DEPARTMENT UPON JOB COMPLETION.
- APPROVAL OF THIS PLAN IS FOR GRADING AND PAVING ON SITE ONLY AND DOES NOT CONSTITUTE APPROVAL OF ANY BUILDING, WALL OR OTHER STRUCTURE SHOWN ON SITE NOR ANY OFF-SITE IMPROVEMENTS SHOWN.
- NO FILL SHALL BE PLACED DURING UNFAVORABLE WEATHER CONDITIONS. THE SOILS ENGINEER AND GRADING INSPECTOR SHALL VERIFY MOISTURE CONTENT AND DENSITY PRIOR TO PLACEMENT OF ADDITIONAL FILL AFTER HEAVY RAINS.
- ALL CONSTRUCTION IN PUBLIC RIGHT OF WAY SHALL BE UNDER SEPARATE PERMIT AND APPROVED BY THE ENGINEERING DIVISION.

NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS

- OWNER SHALL KEEP THE CONSTRUCTION AREA SUFFICIENTLY DAMPENED TO CONTROL DUST CAUSED BY GRADING AND CONSTRUCTION. OWNER SHALL, AT ALL TIMES, PROVIDE REASONABLE CONTROL OF DUST CAUSED BY WIND.
- THE EXPORT OR IMPORT MATERIAL IN EACH TRUCKLOAD SHALL BE KEPT LOW ENOUGH TO PREVENT SPILLAGE AND SHALL BE SUFFICIENTLY WET DOWN TO PREVENT DUST.
- A STAGING AREA SHALL BE DESIGNATED WHERE EACH TRUCK IS PREPARED FOR ROAD TRAVEL AND ALL LOOSE MATERIAL REMOVED. ANY SUBSTANCE TO DROP FROM THE BODY, TIRES, OR WHEELS OF ANY VEHICLE UPON THE PUBLIC RIGHT OF WAY SHALL BE REMOVED IMMEDIATELY AND PERMANENTLY.
- EROSION CONTROL MEASURES SHALL BE IN PLACE FROM NOVEMBER 15 THROUGH APRIL 15.



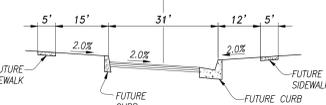
VICINITY MAP



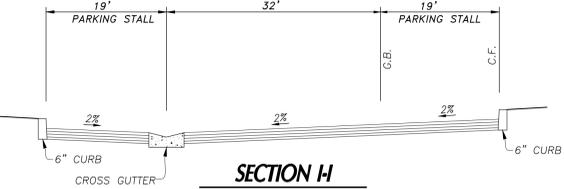
LEGEND

- PROPERTY LINE
- EXISTING RIGHT OF WAY
- EXISTING CENTER LINE
- RATE OF GRADE
- PROPOSED CONTOUR & ELEVATION
- EXISTING CONTOUR & ELEVATION
- SLOPE
- RETAINING WALL
- RETAINING WALL HEIGHT
- EXISTING FIRE HYDRANT
- EXISTING GRAVITY SEWER
- EXISTING SEWER FORCE MAIN
- EXISTING WATER
- EXISTING STORM DRAIN
- EXISTING OIL LINE
- EXISTING GAS

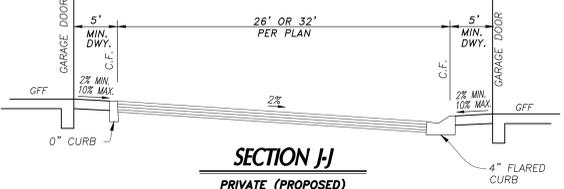
SEE SHEET C-2



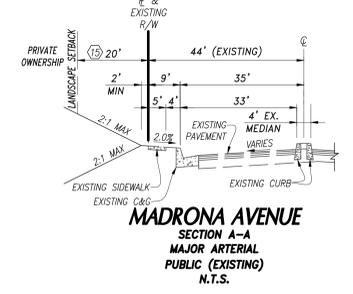
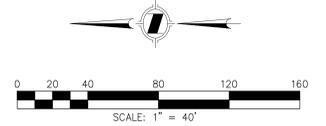
FASHION WAY ENTRY SECTION H-H PRIVATE (PROPOSED) N.T.S.



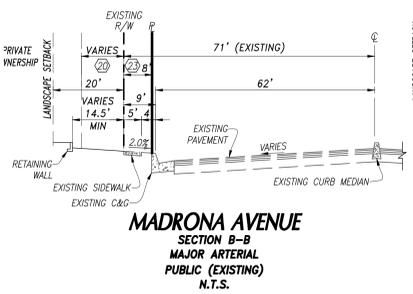
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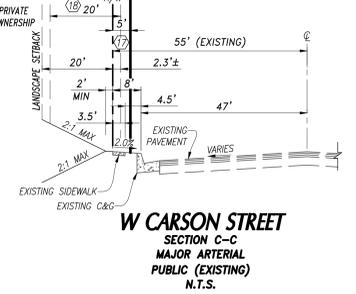
SECTION J PRIVATE (PROPOSED) N.T.S.



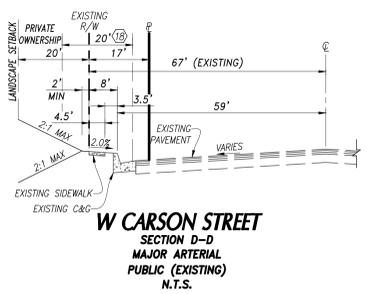
MADRONA AVENUE SECTION A-A MAJOR ARTERIAL PUBLIC (EXISTING) N.T.S.



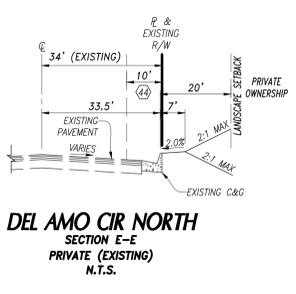
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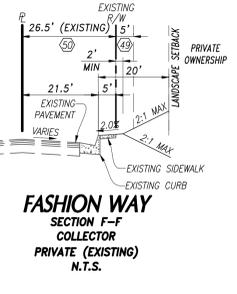
W CARSON STREET SECTION C-C MAJOR ARTERIAL PUBLIC (EXISTING) N.T.S.



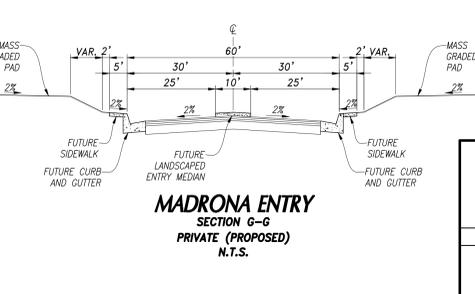
W CARSON STREET SECTION D-D MAJOR ARTERIAL PUBLIC (EXISTING) N.T.S.



DEL AMO CIR NORTH SECTION E-E PRIVATE (EXISTING) N.T.S.



FASHION WAY SECTION F-F COLLECTOR PRIVATE (EXISTING) N.T.S.



MADRONA ENTRY SECTION G-G PRIVATE (PROPOSED) N.T.S.

EASEMENT NOTE
 SEE SHEET C-1 FOR EASEMENT NOTES

DATE	REVISION DESCRIPTION

PREPARED FOR: LENNAR
 2000 FIVEPOINT, 3RD FLOOR
 IRVINE, CA 92618
 (949) 349-8000
 ATTN: GARY JONES

PREPARED BY: HUNSAKER & ASSOCIATES
 IRVINE, INC.
 PLANNING • ENGINEERING • SURVEYING
 Three Hughes • Irvine, CA 92618 • TEL: (949) 253-9110 • FAX: (949) 253-0799

CITY OF TORRANCE

DEL AMO TRACT 83498

CONCEPTUAL GRADING PLAN

DESIGNED BY: SG/TS	DATE: 04/18/24	CITY FILE NO.:	SHEET C-2
DRAFTED BY: SG/TS			
CHECKED BY: SS			

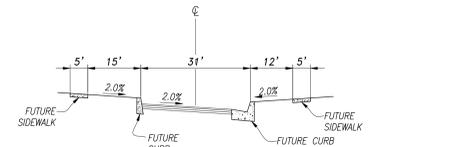
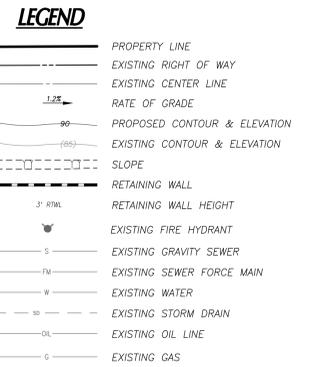
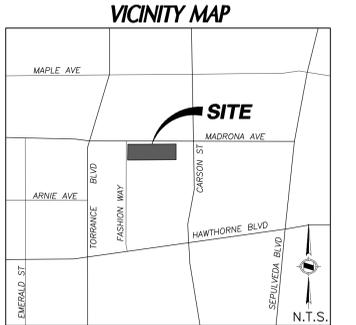
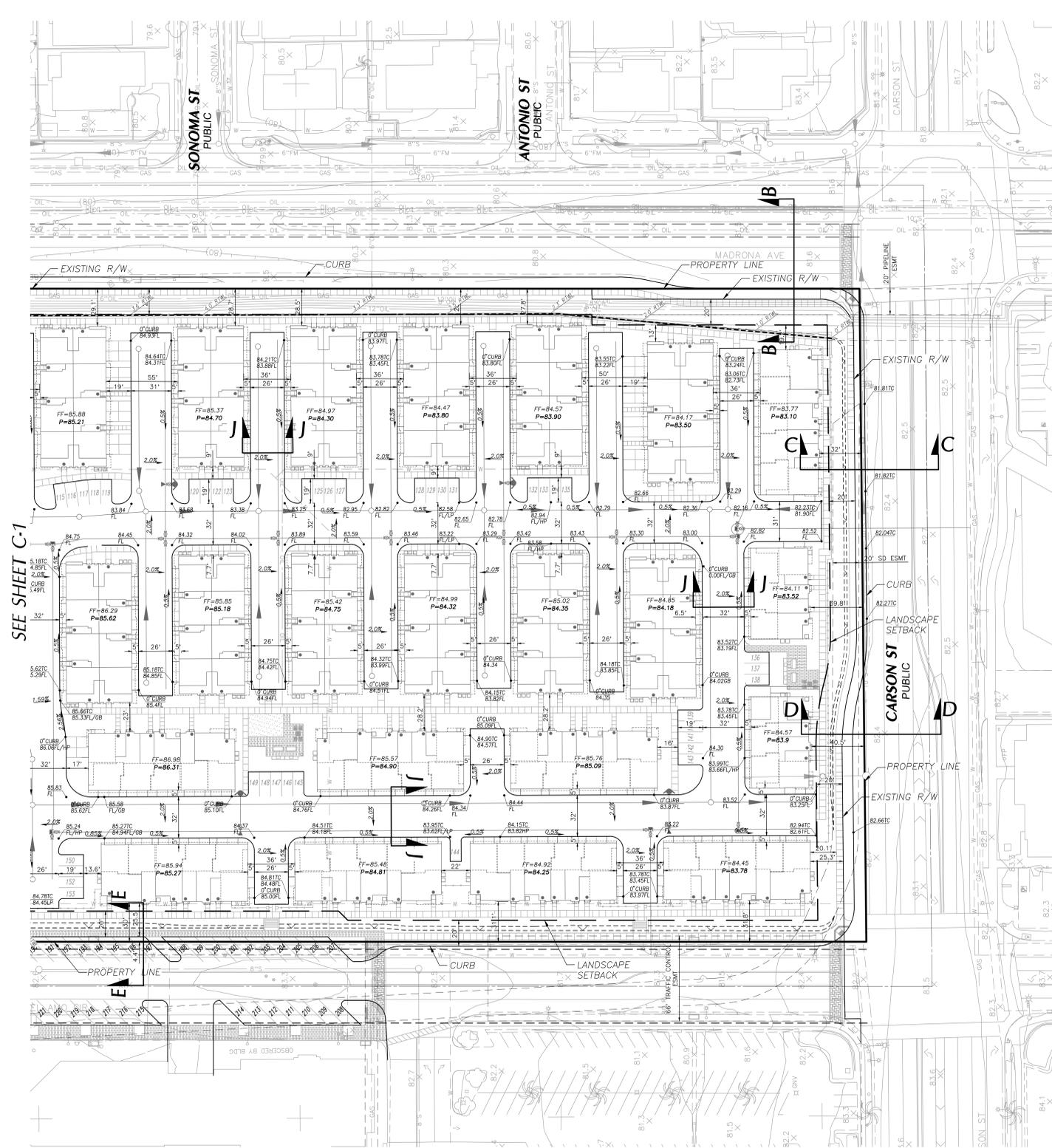
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CITY OF TORRANCE - GRADING PLAN NOTES

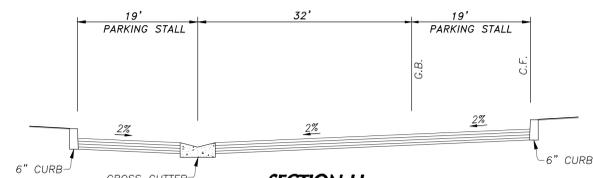
- GRADING OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH THE CODE OF THE CITY OF TORRANCE AND ALL REVISIONS THERETO.
- A PRE-JOB MEETING WITH THE GRADING INSPECTOR, (310) 618-5915, IS REQUIRED PRIOR TO THE START OF GRADING OPERATIONS. SUBSEQUENT INSPECTIONS SHALL BE REQUESTED IN ACCORDANCE WITH THE INSPECTOR'S INSTRUCTIONS OF THE FIRST INSPECTION.
- ESTIMATED EARTHWORK YARDAGE INCLUDING RECOMPACTION OF SUMPS OR EXISTING LOOSE FILL:
 FILL IN LOTS: CUBIC YARDS MAXIMUM DEPTH OF FILL: _____ FEET
 CUT IN LOTS: CUBIC YARDS MAXIMUM DEPTH OF CUT: _____ FEET
 OVEREXCAVATION & RECOMPACTION: CUBIC YARDS _____ FEET
 PAVING AREA: _____ SF
- EXISTING GROUND UPON WHICH FILL OR BASE IS TO BE PLACED SHALL BE CLEARED OF WEEDS, DEBRIS, TOPSOIL, AND ALL OTHER DELETERIOUS MATERIALS; NO FILL SHALL BE PLACED UNTIL PREPARATION OF THE EXISTING GROUND HAS BEEN APPROVED BY THE SOILS ENGINEER OF RECORD AND BY THE INSPECTOR.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR AND THE OWNER TO PROTECT ADJACENT PROPERTY, PUBLIC AND UTILITIES DURING GRADING OPERATIONS. THE CONTRACTOR ASSUMES ALL LIABILITY FOR THE UNDERGROUND UTILITY PIPES, CONDUITS, OR STRUCTURES, WHETHER SHOWN OR NOT ON THE PLAN.
- WATER CONTENT SHALL BE CONTROLLED AS DETERMINED BY THE SOILS ENGINEER AND THE INSPECTOR.
- PERMISSION SHALL BE SECURED FROM THE ENGINEERING DEPARTMENT IF THE TRUCKS ARE LOADED IN THE STREET.
- UNSATURATED MATERIAL SHALL BE DISPOSED OF OFF-SITE. THE LOCATION OF DUMPING EXCESS SOIL SHALL BE APPROVED BY THE GRADING INSPECTOR PRIOR TO STARTING EXCAVATION.
- LOOSE MATERIAL SHALL NOT EXCEED 3" IN DEPTH ON A FILLED SLOPE.
- ALL SLOPES SO DESIGNATED SHALL BE PLANTED WITH AN APPROVED PERENNIAL FOR EROSION CONTROL. PLANTING SHALL BE SPRINKLERED AND MAINTAINED UNTIL PLANTING HAS REACHED MATURE GROWTH.
- ALL LOOSE ON SITE FILL SHALL BE REMOVED AND COMPACTED.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN THE SOILS REPORT BY DATED _____ AND THE GEOLOGICAL REPORT BY _____.
- ALL MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM 90 PERCENT OF THE MAXIMUM DRY DENSITY OF THE FILL MATERIAL PER THE LATEST VERSION OF ASTM D1557.
- SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
 A. ONE TEST FOR EACH TWO FOOT VERTICAL LIFT.
 B. ONE TEST FOR EACH 500 CUBIC YARDS OF MATERIAL PLACED.
 C. ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE IN EACH FOUR FOOT VERTICAL LIFT OF PORTION THEREOF.
 D. ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR FOOT VERTICAL LIFT OR PORTION THEREOF.
- IMPORT SOILS SHOULD CONSIST OF CLEAN, COMPACTABLE MATERIALS POSSESSING EXPANSION CHARACTERISTICS SIMILAR TO OR BETTER THAN THE UPPER ON-SITE SOILS. IMPORT SOILS SHOULD BE FREE OF TRASH, DEBRIS OR OTHER OBJECTIONABLE MATERIALS. CONTRACTOR SHALL NOTIFY THE PROJECT GEOLOGICAL ENGINEER NOT LESS THAN 72 HOURS IN ADVANCE OF THE LOCATION OF ANY SOILS PROPOSED FOR IMPORT. EACH PROPOSED IMPORT SOURCE SHALL BE SAMPLED, TESTED, AND APPROVED PRIOR TO DELIVERY OF SOILS FOR USE ON THE SITE.
- ALL FILL UNDER THE BUILDING FOUNDATION MUST BE CERTIFIED BY THE SOILS ENGINEER AS TO PROPER BEARING VALUE DESIGN AND ITS COMPLIANCE WITH THE PRELIMINARY SOILS REPORT ON NOTE 13.
- ALL SUBGRADE UNDER AREAS TO BE PAVED SHALL BE CERTIFIED BY THE SOILS ENGINEER IN COMPLIANCE WITH SECTION 81.2.34(G) OF THE TORRANCE MUNICIPAL CODE.
- THE ENGINEERING GEOLOGIST, SOILS ENGINEER AND CIVIL ENGINEER, IN COMPLIANCE WITH SECTION 81.2.37(G) OF THE TORRANCE MUNICIPAL CODE, SHALL PROVIDE THE DEPARTMENT WITH A GRADING CERTIFICATION UPON COMPLETION OF THE JOB.
- AN AS-GRADED PLAN PREPARED BY THE CIVIL ENGINEER OF RECORD SHALL BE SUBMITTED WITH THE REQUIRED GRADING CERTIFICATIONS TO THE DEPARTMENT UPON JOB COMPLETION.
- APPROVAL OF THIS PLAN IS FOR GRADING AND PAVING ON SITE ONLY AND DOES NOT CONSTITUTE APPROVAL OF ANY BUILDING, WALL OR OTHER STRUCTURE SHOWN ON SITE NOR ANY OFF-SITE IMPROVEMENTS SHOWN.
- NO FILL SHALL BE PLACED DURING UNFAVORABLE WEATHER CONDITIONS. THE SOILS ENGINEER AND GRADING INSPECTOR SHALL VERIFY MOISTURE CONTENT AND DENSITY PRIOR TO PLACEMENT OF ADDITIONAL FILL AFTER HEAVY RAINS.
- ALL CONSTRUCTION IN PUBLIC RIGHT OF WAY SHALL BE UNDER SEPARATE PERMIT AND APPROVED BY THE ENGINEERING DIVISION.

- NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS**
- OWNER SHALL KEEP THE CONSTRUCTION AREA SUFFICIENTLY DAMPENED TO CONTROL DUST CAUSED BY GRADING AND CONSTRUCTION. OWNER SHALL, AT ALL TIMES, PROVIDE REASONABLE CONTROL OF DUST CAUSED BY WIND.
 - THE EXPORT OR IMPORT MATERIAL IN EACH TRUCKLOAD SHALL BE KEPT LOW ENOUGH TO PREVENT SPILLAGE AND SHALL BE SUFFICIENTLY WET DOWN TO PREVENT DUST.
 - A STAGING AREA SHALL BE DESIGNATED WHERE EACH TRUCK IS PREPARED FOR ROAD TRAVEL AND ALL LOOSE MATERIAL REMOVED. ANY SUBSTANCE TO DROP FROM THE BODY, TIRES, OR WHEELS OF ANY VEHICLE UPON THE PUBLIC RIGHT OF WAY SHALL BE REMOVED IMMEDIATELY AND PERMANENTLY.
 - EROSION CONTROL MEASURES SHALL BE IN PLACE FROM NOVEMBER 15 THROUGH APRIL 15.

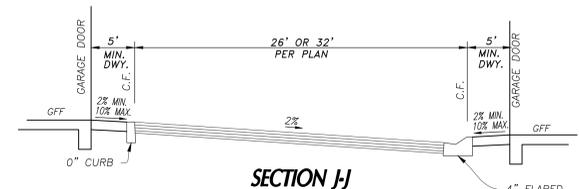
- SEE SHEET C-1**



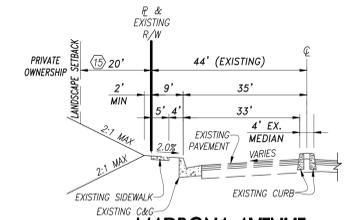
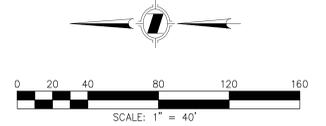
FASHION WAY ENTRY SECTION I-I PRIVATE (PROPOSED) N.T.S.



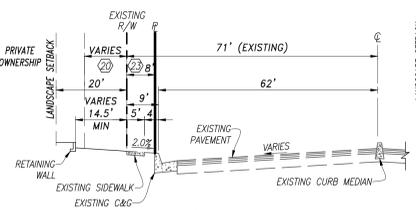
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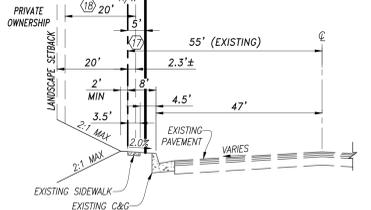
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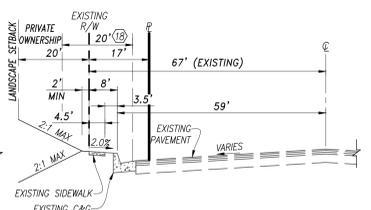
MADRONA AVENUE SECTION A-A MAJOR ARTERIAL PUBLIC (EXISTING) N.T.S.



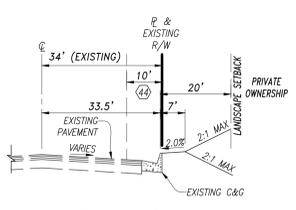
MADRONA AVENUE SECTION B-B MAJOR ARTERIAL PUBLIC (EXISTING) N.T.S.



W CARSON STREET SECTION C-C MAJOR ARTERIAL PUBLIC (EXISTING) N.T.S.



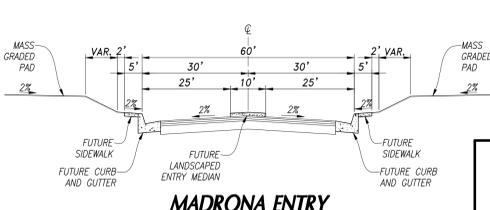
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DEL AMO CIR NORTH SECTION E-E PUBLIC (EXISTING) N.T.S.



FASHION WAY SECTION F-F COLLECTOR PRIVATE (EXISTING) N.T.S.



MADRONA ENTRY SECTION G-G PRIVATE (PROPOSED) N.T.S.

EASEMENT NOTE
 SEE SHEET C-1 FOR EASEMENT NOTES

REVISION	DATE	DESCRIPTION

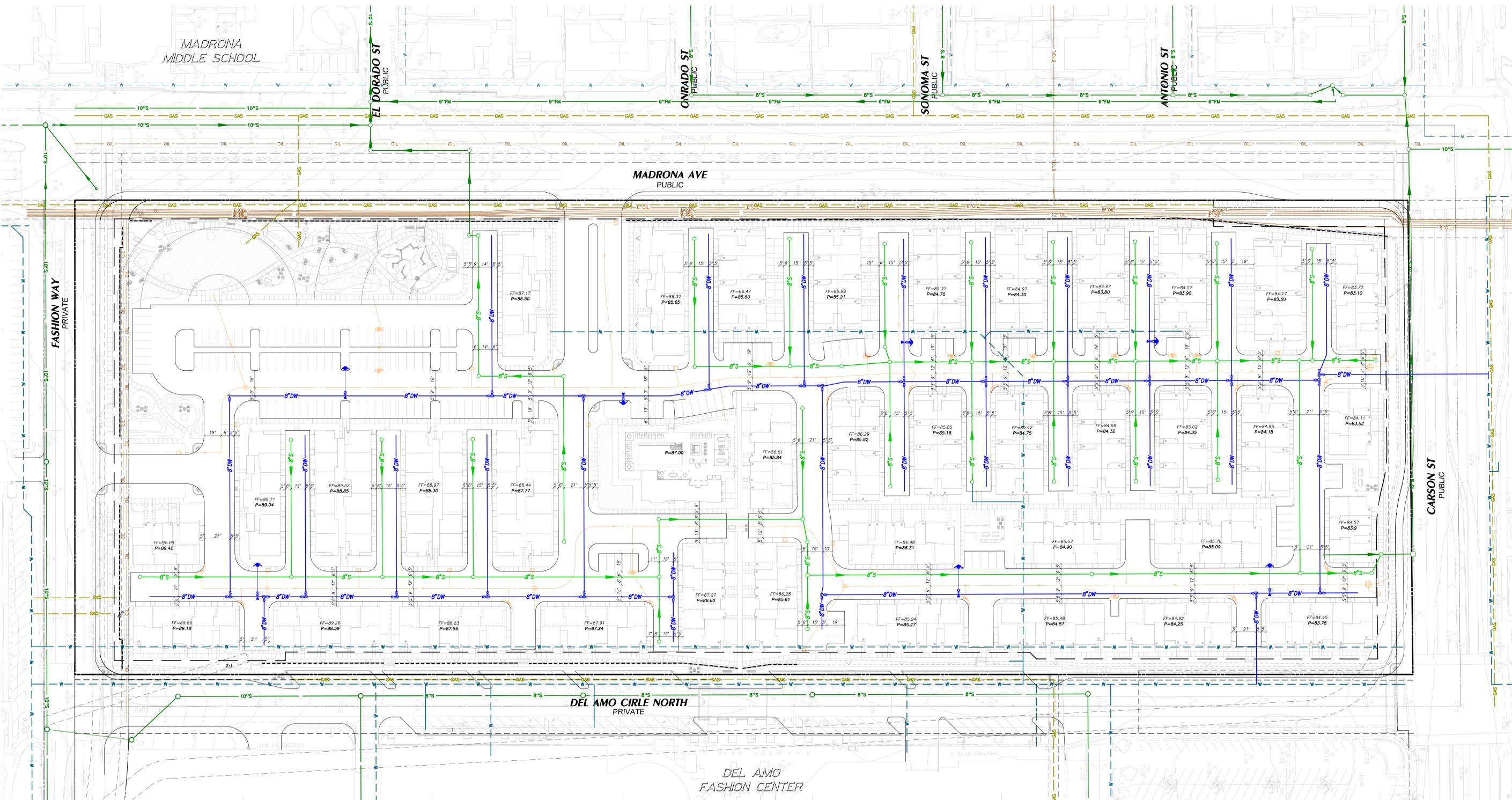
PREPARED FOR:
LENNAR
 2000 FIVEPOINT, 3RD FLOOR
 IRVINE, CA 92618
 (949) 349-8000
 ATTN: GARY JONES

PREPARED BY:
HUNSAKER & ASSOCIATES
 IRVINE, CA
 PLANNING • ENGINEERING • SURVEYING
 Three Hughes • Irvine, CA 92618 • Tel: (949) 253-3100 • Fax: (949) 253-0759

CITY OF TORRANCE

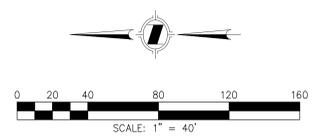
DEL AMO TRACT 83498 CONCEPTUAL GRADING PLAN

DESIGNED BY: SG/TS DATE: 04/18/24 CITY FILE NO.: SHEET **C-3**
 DRAFTED BY: SG/TS
 CHECKED BY: SS



LEGEND

- 8" S PROPOSED SEWER
- 8" DW PROPOSED WATER
- PROPOSED STORM DRAIN
- - - EXISTING SEWER
- - - EXISTING WATER
- FIRE HYDRANT
- EXISTING OIL
- EXISTING GAS
- - - EXISTING STORM DRAIN



REVISION	
DATE	DESCRIPTION

<p>PREPARED FOR: LENNAR 2000 FIVEPOINT, 3RD FLOOR IRVINE, CA 92618 (949) 349-8000 ATTN: GARY JONES</p>	<p>PREPARED BY: HUNSAKER & ASSOCIATES IRVINE, INC. PLANNING • ENGINEERING • SURVEYING Three Huges • Irvine, CA 92618 • P: (949) 263-5100 • F: (949) 263-0759</p>
<p>CITY OF TORRANCE</p>	
<p>DEL AMO TRACT 83498 CONCEPTUAL UTILITY PLAN</p>	
DESIGNED BY: KLO	DATE: 04/18/24
DRAFTED BY: TD	CITY FILE NO.:
CHECKED BY: KLO	SHEET C-4



TREE PLANTING LEGEND			
SYMBOL	BOTANICAL/COMMON NAME	SIZE	WUCOLS
MADRONA AVENUE STREET TREE			
●	JACARANDA IMMOBILIS	36" BOX STD.	L
●	FERN TREE	20" HIGH	
●	TRISTANIA CONFERTA	36" BOX STD.	M
●	BRISBANE BOX	30'-45' H	
DEL AMO CIRCLE STREET TREES			
●	TIPIANA TIPI	36" BOX STD.	M
●	TIPIANA TIPI	40" HIGH	
●	TIPIANA TIPI	EXISTING	M
●	TIPIANA TIPI	40" HIGH	
FASHION WAY STREET TREE			
●	QUERCUS VIRGINIANA	36" BOX STD.	L
●	SOUTHERN LIVE OAK	20" HIGH	
●	TRISTANIA CONFERTA	36" BOX STD.	M
●	BRISBANE BOX	30'-45' H	
WEST CARSON STREET TREE			
●	PODOCARPUS GRACILIOR	36" BOX STD.	M
●	FERN PINE	30" HIGH	
●	TRISTANIA CONFERTA	36" BOX STD.	M
●	BRISBANE BOX	30'-45' H	
PROJECT ENTRY - PARK CANOPY PALM TREES			
●	PHOENIX DACTYLIFERA	18" BTH STD.	L
●	DATE PALM	20'-40" HIGH	
INTERNAL SPINE TREE			
●	OLEA EUROPAEA	LARGE FIELD DUG	VL
PASEO/PARK ACCENT TREE			
●	ARBUUS 'MARINA'	36" BOX STD.	M
●	STRAWBERRY TREE		
ALLEY ACCENT TREES			
●	LAGERSTROEMIA INDICA 'NACHEZ'	36" BOX STD.	M
●	CREPE MYRTLE		
PARK ACCENT TREES			
●	LILY OF THE VALLEY 'ORANGE'	36" BOX STD.	L
●	EVERGREEN ELM		
●	LAGERSTROEMIA INDICA 'NACHEZ'	36" BOX STD.	M
●	CREPE MYRTLE		
ALLEY WALK TREES			
●	PRUNUS CAROLINIANA	24" BOX STD.	M
●	CAROLINA CHERRY LAUREL		
●	PODOCARPUS GRACILIOR	24" BOX STD.	M
●	FERN PINE		

SHRUB PLANTING LEGEND					
SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	WUCOLS	QTY
●	AEONIUM 'SALAD BOWL'	1 GAL.	18" O.C.	VL	
●	SALAD BOWL Aeonium				
●	AEONIUM 'ATROPURPUREUM'	1 GAL.	18" O.C.	VL	
●	PURPLE Aeonium				
●	AGAVE 'BLUE GLOW'	5 GAL.	24" O.C.	VL	
●	PROSTRATE GLOSSY ABELIA				
●	AGAVE 'BLUE FLAME'	5 GAL.	36" O.C.	VL	
●	BLUE FLAME AGAVE				
●	ALOE ARBORESCENS	1 GAL.	24" O.C.	L	
●	TREE ALOE				
●	ALOE BARNESI	1 GAL.	24" O.C.	L	
●	BARBERAE ALOE				
●	ALOE STIADA	1 GAL.	24" O.C.	L	
●	CORNAL ALOE				
●	ALOE LITTLE RED RIDING HOOD'	1 GAL.	18" O.C.	L	
●	ALOE RUDOLPHI				
●	BOUTELOUA G. 'BLONDE AMBITION'	5 GAL.	36" O.C.	L	
●	BLONDE AMBITION BLUE GRAMA GRASS				
●	BUXUS MICROPHYLLA JAPONICA	5 GAL.	18" O.C.	M	
●	JAPANESE BOXWOOD				
●	CALANDRINA 'SHINING PINK'	5 GAL.	36" O.C.	L	
●	ROCK PURSLANE				
●	CALLISTEMON 'LITTLE JOHN'	5 GAL.	36" O.C.	L	
●	DWARF BOTTLE BRUSH				
●	CAREX DIVISIVA	1 GAL.	24" O.C.	L	
●	BERKELEY SEDGE				
●	CAREX PANSA	1 GAL.	12" O.C.	M	
●	SAND DUNE SEDGE				
●	CARISMA 'K. GREEN CARPET'	5 GAL.	30" O.C.	M	
●	NATAL PLUM				
●	CASSIA ARBORESCENS	5 GAL.	24" O.C.	M	
●	SILVER JADE PLANT				
●	DIANELLA TASMANICA	5 GAL.	24" O.C.	M	
●	FLAX LIL				
●	DODONAEA VISCOSA 'PURPUREA'	24" BOX 5" O.C.	L		
●	POPPED BUSH				
●	DASYLIRION WHEELERI	5 GAL.	4" O.C.	VL	
●	DESERT SPOON				
●	ELYMUS ARENARIUS BLUE DUNE'	1 GAL.	12" O.C.	L	
●	BLUE DUNE TIE GRASS				
●	EQUISETUM HYEMALE	1 GAL.	24" O.C.	H	
●	SCORPION TAIL				
●	FESTUCA WAIREI	1 GAL.	30" O.C.	L	
●	ATLAS FESCUE				
●	GREVILLEA LANIGERA 'PROSTRATE'	1 GAL.	30" O.C.	L	
●	PROSTRATE WOOLLY GREVILLEA				
●	GREWIA OCCIDENTALIS	15 GAL.	5" O.C.	M	
●	LAVENDER STARFLOWER				
●	KNIPHOFIA UVARIA	1 GAL.	12" O.C.	L	
●	RED HOT POKER				
●	LANTANA CAMARA 'NEW GOLD'	1 GAL.	36" O.C.	L	
●	LANTANA				
●	LANTANA MONTEVIDENSIS	1 GAL.	36" O.C.	L	
●	LANTANA				
●	LIGUSTRUM J. 'TEXANUM'	5 GAL.	18" O.C.	M	
●	JAPANESE PRIVET				
●	MYOPORUM PARVIFOLIUM	1 GAL.	36" O.C.	L	
●	MYOPORUM				
●	NANDINA DOMESTICA	5 GAL.	36" O.C.	M	
●	NANA PURPUREA				
●	DWARF NANDINA				
●	PHORMIUM TENAX 'BLACK ADDER'	5 GAL.	30" O.C.	L	
●	BLACK ADDER FLAX				
●	PITTOSPORUM F. 'VAREGATA'	15 GAL.	36" O.C.	M	
●	POPPED TOBIA				
●	PRUNUS CAROLINIANA COMPACTA'	24" BOX 30" O.C.	L		
●	COMPACT CAROLINA CHERRY				
●	RHAPHOLEPIS UMBELLATA	5 GAL.	36" O.C.	L	
●	YEDDA HAWTHORN				
●	RHAPHOLEPIS CLARA	5 GAL.	36" O.C.	L	
●	CLARA HAWTHORN				
●	ROSMARINUS O. 'PROSTRATUS'	1 GAL.	18" O.C.	L	
●	ROSEMARY				
●	ROSMARINUS O. 'TUSCAN BLUE'	5 GAL.	18" O.C.	L	
●	ROSEMARY				
●	SENECIO MANDRALISCAE	1 GAL.	12" O.C.	L	
●	CHALK STICKS				
●	TEUCRIUM CHAMAEDRYIS	1 GAL.	24" O.C.	L	
●	GERMANDER				
●	TRACHELOSPERMUM JASMINOIDES'	1 GAL.	24" O.C.	M	
●	STAR JASMINE				
●	WESTRINGIA FRUTICOSA	1 GAL.	4" O.C.	L	
●	COAST ROSEMARY				
●	FESTUCA ARUNDINACEA	1 GAL.	4" O.C.	L	
●	TALL FESCUE				

LANDSCAPE REQUIREMENTS

- A RATIO OF 1 TREE FOR EVERY 6 PARKING SPACES SHALL BE PROVIDED, AND SHALL BE DISTRIBUTED IN SUCH A WAY AS TO MAXIMIZE THE AMOUNT OF SHADE PROVIDED.
- A RATIO OF 1 SHRUB SHALL BE PROVIDED FOR EVERY 25 SQFT. OF PLANTER AREA. ALL SHRUBS SHALL BE A MINIMUM 5 GALLON IN SIZE UNLESS THE SHRUB IS CONSIDERED "FAST GROWING," IN WHICH CASE 50% OF THE REQUIRED NUMBER OF SHRUBS MAY BE A MINIMUM OF 1 GALLON IN SIZE.
- GROUND COVER SHALL BE PLANTED TO HAVE 100% GROUND COVER IN 1 YEAR.
- THE PLANTING ARRANGEMENT MUST INCLUDE TREE WELLS, SCREENING OF ALL TRANSFORMERS AND TRASH ENCLOSURES, AND MUST PROVIDE LANDSCAPING OF SUFFICIENT HEIGHT AND TEXTURE TO PROVIDE AN EFFECTIVE SCREEN FROM HEADLIGHTS POSITIONED TOWARD RESIDENTIAL UNITS AND ADJACENT USES.
- CREeping VINES OR SIMILAR PLANT MATERIALS ARE REQUIRED TO BE TRAINED ALONG WALLS AND FENCES THAT ARE VISIBLE TO THE PUBLIC.
- THE SITE PERIMETER SHOULD BE LANDSCAPED TO PROVIDE PARKING LOT SCREENING, A BUFFER FOR ADJACENT USES, ENTRY STATEMENTS AND AN ATTRACTIVE VIEW FROM THE STREET. WHEREVER A PARKING LOT IS LOCATED BEHIND A REQUIRED LANDSCAPE SETBACK, A HEDGEROW SHOULD BE PLANTED ADJACENT TO THE PARKING LOT TO PROVIDE SCREENING. BREAKS IN THE HEDGEROW SHOULD BE PROVIDED TO ACCOMMODATE PAVED PEDESTRIAN PATHWAYS, AS APPROPRIATE.

SHEET TITLE

- L - 1 OVERALL PRELIMINARY PLAN
- L - 2 DEL AMO STREETScape ENLARGEMENT
- L - 3 ENTRY ENLARGEMENTS
- L - 4 PARK ENLARGEMENT
- L - 5 RECREATION CENTER ENLARGEMENT
- L - 6 POCKET PARK ENLARGEMENTS
- L - 7 NEIGHBORHOODS ENLARGEMENTS

PERCENTAGE - LANDSCAPE AREA CALCULATION

ON SITE AREA	
PROPERTY BOUNDARY	18.76 ACRES (OR 817,097 SQ. FT.)
LANDSCAPE AREA	
PLANTING AREA	195,635 SQ. FT.
TURF AREA	12,081 SQ. FT.
PERCENTAGE OF SITE AREA	
TOTAL LANDSCAPE AREA =	207,716 SQ. FT.
LANDSCAPE AREA PROPOSED =	25%
PARKS AREA TAKE OFFS	
Rec Center Park	14,568 SQ. FT.
Open Space Park	35,265 SQ. FT.

LEGEND

- MAIN ENTRY DRIVE
- FASHION WAY ENTRY DRIVE
- 5'-6" HIGH VIEW FENCE
- RESIDENTIAL BUILDING
- DEL AMO ANGLED PARKING SPACES
- RESIDENTIAL PLAZA
- RETAIL PLAZA EXPANSION PLAZA
- PEDESTRIAN CROSS WALKS
- RECREATIONAL CENTER
- RECREATIONAL CENTER POOL
- RETAIL CURB SIDE PICKUP PARKING
- ALLEY STREET
- SPINE STREET
- HANDICAP PARKING
- ACTIVITY LAWN AREA
- RESIDENCE PARKING
- CHILDREN'S CREATIVE PLAY AREA
- CORNER SIGN WALL
- POCKET PARKS
- PARKING LOT
- CORNER PLAZA
- ART PLAZA

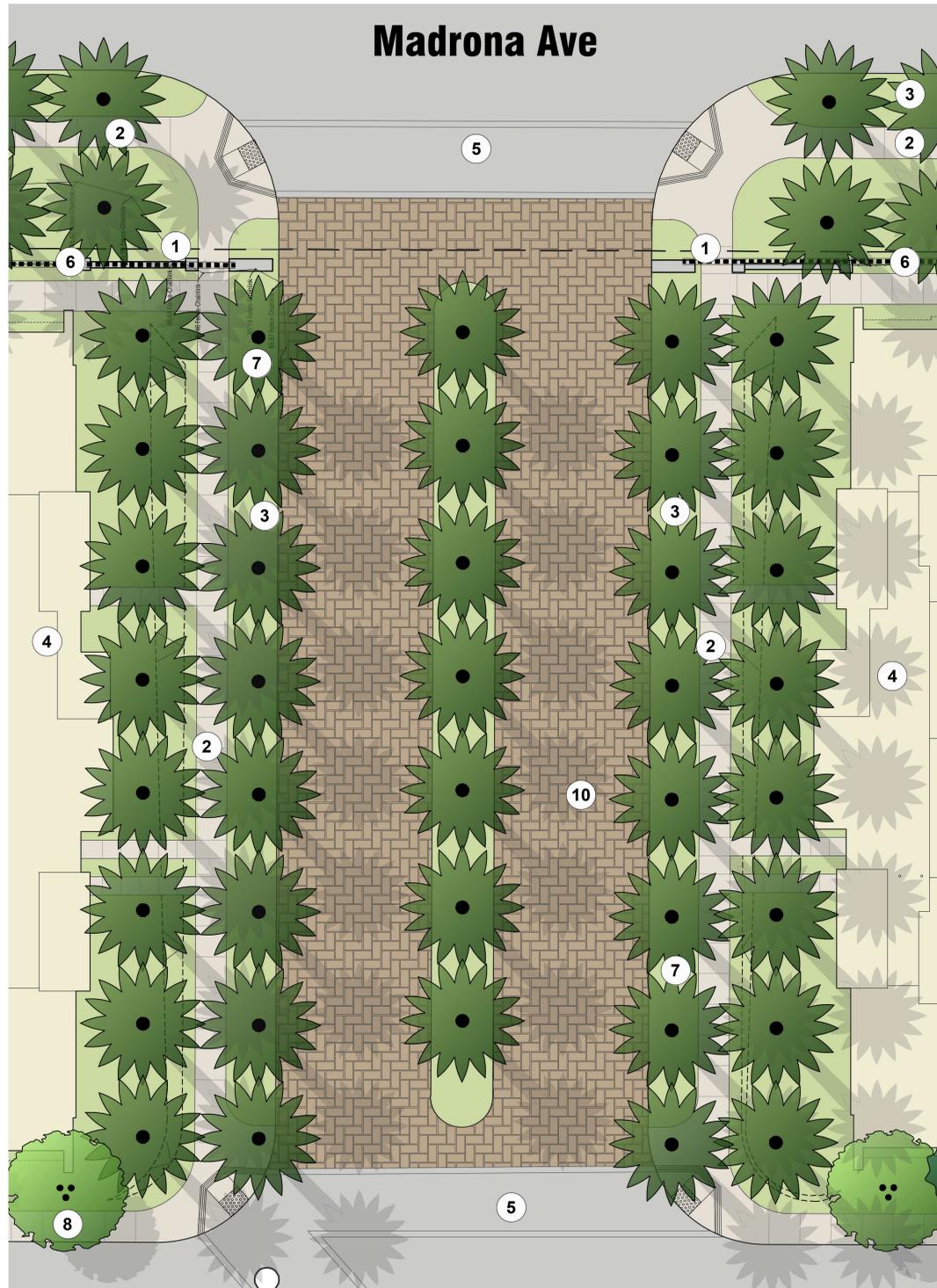


Del Amo Street Enlargement

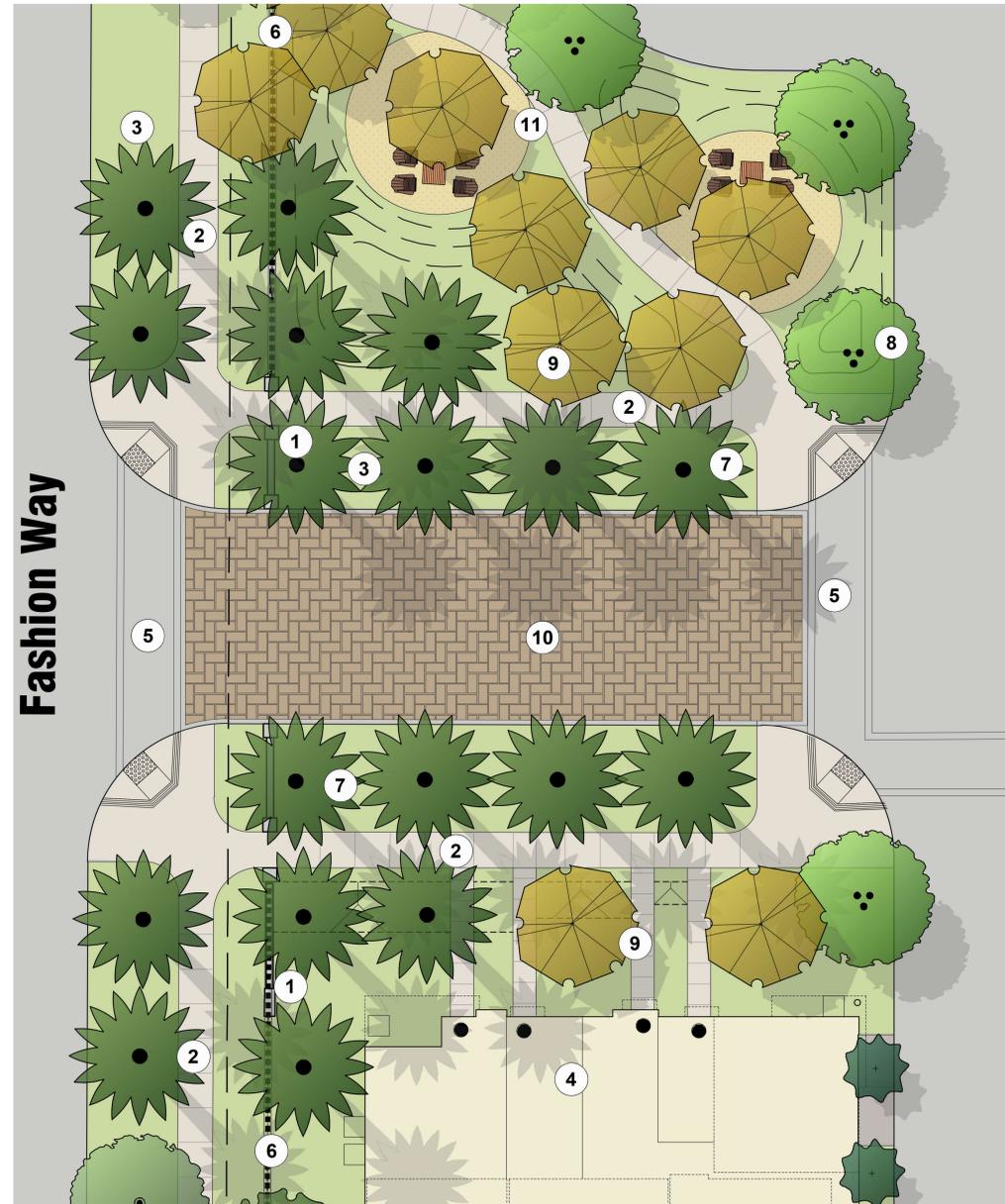
TREE PLANTING LEGEND			
SYMBOL	BOTANICAL/COMMON NAME	SIZE	WUCOLS
MADRONA AVENUE STREET TREE			
	JACARANDA MIMOSIFOLIA FERN TREE 20' HIGH	36" BOX STD.	L
	TRISTANIA CONFERTA BRISBANE BOX	36" BOX STD. 30' - 45' H	M
DEL AMO CIRCLE STREET TREES			
	TIPUANA TIPU TIPU TREE 40' HIGH	36" BOX STD.	M
	TIPUANA TIPU TIPU TREE 40' HIGH	EXISTING	M
FASHION WAY STREET TREE			
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK 20' HIGH	36" BOX STD.	L
	TRISTANIA CONFERTA BRISBANE BOX	36" BOX STD. 30' - 45' H	M
WEST CARSON STREET TREE			
	PODOCARPUS GRACILIOR FERN PINE 30' HIGH	36" BOX STD.	M
	TRISTANIA CONFERTA BRISBANE BOX	36" BOX STD. 30' - 45' H	M
PROJECT ENTRY - PARK CANOPY PALM TREES			
	PHOENIX DACTYLIFERA DATE PALM 20' - 40' HIGH	18" BTH STD.	L

TREE PLANTING LEGEND			
SYMBOL	BOTANICAL/COMMON NAME	SIZE	WUCOLS
INTERNAL SPINE TREE			
	OLEA EUROPAEA COMMON OLIVE	LARGE FIELD DUG	VL
PASEO/PARK ACCENT TREE			
	ARBUTUS 'MARINA' STRAWBERRY TREE	36" BOX STD.	M
ALLEY ACCENT TREES			
	LAGERSTROEMIA INDICA 'NACHEZ' CREPE MYRTLE	36" BOX STD.	M
PARK ACCENT TREES			
	ULMUS PARVIFOLIA 'DRAKE' EVERGREEN ELM	36" BOX STD.	L
	LAGERSTROEMIA INDICA 'NACHEZ' CREPE MYRTLE	36" BOX STD.	M
ALLEY WALK TREES			
	PRUNUS CAROLINIANA CAROLINA CHERRY LAUREL	24" BOX STD.	M
	PODOCARPUS GRACILIOR FERN PINE	24" BOX	M

- ## LEGEND
- RESIDENTIAL BUILDING
 - ANGLED PARKING SPACES
 - RESIDENTIAL PLAZA W/ SEATING AREA
 - RETAIL PLAZA EXPANSION PLAZA
 - ENHANCED PAVING PEDESTRIAN CROSS WALKS
 - ENHANCED SPIN STREET WALKWAYS
 - RETAIL CURB SIDE PICKUP PARKING
 - ALLEY STREET
 - CONCRETE WALKWAYS
 - HANDICAP PARKING
 - UNIT DRIVE WAY
 - BUILDING STOOP ENTRY
 - PASEO WALK ENTRY
 - 5'-6" HIGH VIEW FENCE
 - PEDESTRIAN SPINE WALK
 - POCKET PARK



Main Entry



Fashion Way Entry

TREE PLANTING LEGEND				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	WUCOLS	
MADRONA AVENUE STREET TREE				
	JACARANDA MIMOSIFOLIA	36" BOX	L	
	FERN TREE	20' HIGH	STD.	
	TRISTANIA CONFERTA	36" BOX	M	
	BRISBANE BOX	30" x 45" H		
DEL AMO CIRCLE STREET TREES				
	TIPUANA TIPU	36" BOX	M	
	TIPU TREE	40' HIGH	STD.	
	TIPU TREE	40' HIGH	EXISTING	M
FASHION WAY STREET TREE				
	QUERCUS VIRGINIANA	36" BOX	L	
	SOUTHERN LIVE OAK	20' HIGH	STD.	
	TRISTANIA CONFERTA	36" BOX	M	
	BRISBANE BOX	30" x 45" H		
WEST CARSON STREET TREE				
	PODOCARPUS GRACILIOR	36" BOX	M	
	FERN PINE	30' HIGH	STD.	
	TRISTANIA CONFERTA	36" BOX	M	
	BRISBANE BOX	30" x 45" H		
PROJECT ENTRY - PARK CANOPY PALM TREES				
	PHOENIX DACTYLIFERA	18" BTH	L	
	DATE PALM	20'-40' HIGH	STD.	
INTERNAL SPINE TREE				
	OLEA EUROPAEA		LARGE	VL
	COMMON OLIVE			
PASEOPARK ACCENT TREE				
	ARBUTUS MARINA	36" BOX	M	
	STRAWBERRY TREE	STD.		
ALLEY ACCENT TREES				
	LAGERSTROEMIA INDICA 'NACHEZ'	36" BOX	M	
	CREPE MYRTLE	STD.		
PARK ACCENT TREES				
	ULMUS PARVIFOLIA 'DRAKE'	36" BOX	L	
	EVERGREEN ELM	STD.		
	LAGERSTROEMIA INDICA 'NACHEZ'	36" BOX	M	
	CREPE MYRTLE	STD.		
ALLEY WALK TREES				
	PRUNUS CAROLINIANA	24" BOX	M	
	CAROLINA CHERRY LAUREL	STD.		
	PODOCARPUS GRACILIOR	24" BOX	M	
	FERN PINE	STD.		

LEGEND

- 1. ENTRY MONUMENT WALL AND SIGNAGE
- 2. CONCRETE WALKWAY
- 3. PARKWAY
- 4. RESIDENTIAL BUILDING
- 5. CROSSWALK
- 6. VIEW FENCE
- 7. CANOPY PALM
- 8. STREET TREES
- 9. ACCENT TREES
- 10. ENHANCED VEHICULAR PAVING
- 11. POCKET PARK



SCALE: 1" = 10' - 0"





TREE PLANTING LEGEND			
SYMBOL	BOTANICAL/COMMON NAME	SIZE	WUCOLS
MADRONA AVENUE STREET TREE			
	JACARANDA MIMOSAFOIA FERN TREE	36" BOX STD.	L
	TRISTIANA CONFERTA BRISBANE BOX	36" BOX STD. 30'-45" H	M
DEL AMO CIRCLE STREET TREES			
	TIPUANA TIPU 40' HIGH	36" BOX STD.	M
	TIPUANA TIPU 40' HIGH	EXISTING	M
FASHION WAY STREET TREE			
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	36" BOX STD.	L
	TRISTIANA CONFERTA BRISBANE BOX	36" BOX STD. 30'-45" H	M
WEST CARSON STREET TREE			
	PODOCARPUS GRACILIOR FERN PINE	36" BOX STD.	M
	TRISTIANA CONFERTA BRISBANE BOX	36" BOX STD. 30'-45" H	M
PROJECT ENTRY - PARK CANOPY PALM TREES			
	PHOENIX DACTYLIFERA DATE PALM	18" BTH STD.	L
INTERNAL SPINE TREE			
	OLEA EUROPAEA COMMON OLIVE	LARGE FIELD DUG	VL
PASEO/PARK ACCENT TREE			
	ARBUTUS 'MARINA' STRAWBERRY TREE	36" BOX STD.	M
ALLEY ACCENT TREES			
	LAGERSTROEMIA INDICA 'NACHEZ' CREPE MYRTLE	36" BOX STD.	M
PARK ACCENT TREES			
	ULMUS PARVIFOLIA 'DRAKE' EVERGREEN ELM	36" BOX STD.	L
	LAGERSTROEMIA INDICA 'NACHEZ' CREPE MYRTLE	36" BOX STD.	M
ALLEY WALK TREES			
	PRUNUS CAROLINIANA CAROLINA CHERRY LAUREL	24" BOX STD.	M
	PODOCARPUS GRACILIOR FERN PINE	24" BOX STD.	M

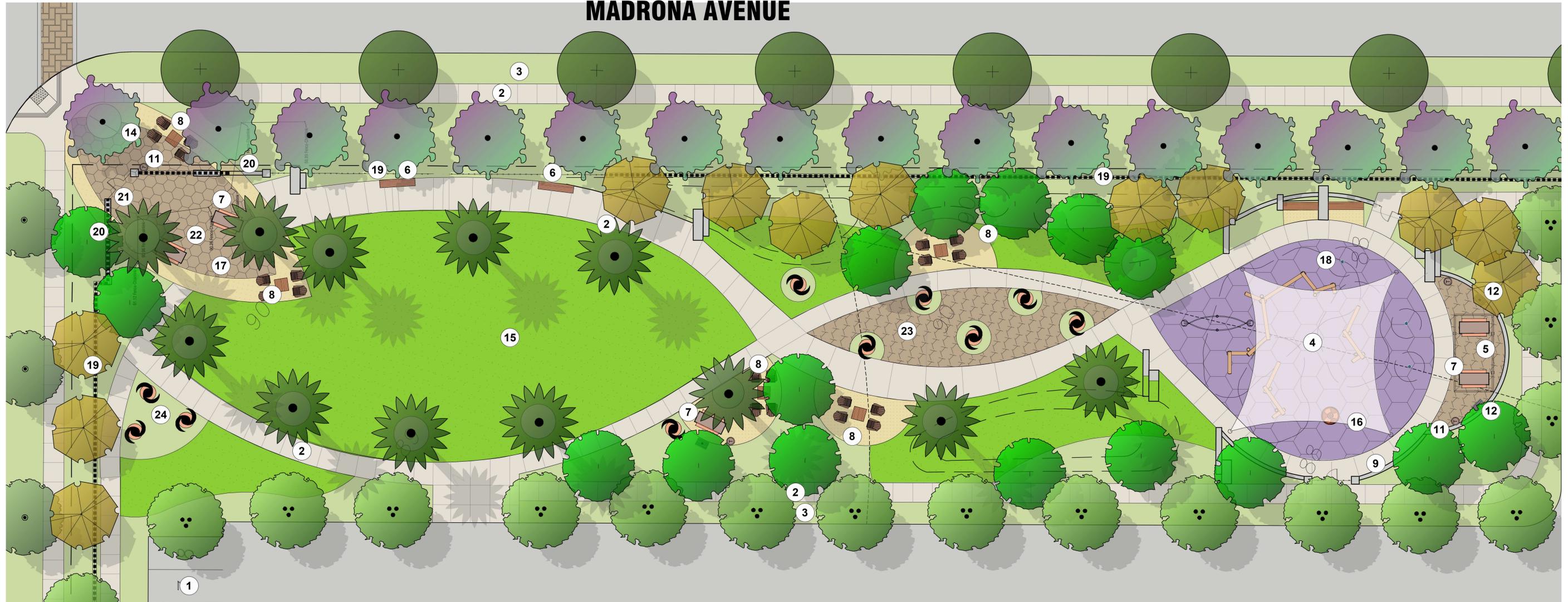
LEGEND

1. RESIDENCE/GUEST PARKING
2. CONCRETE WALKWAY
3. PARKWAY
4. DRIVEWAY
5. OVERHEAD TRELLIS
6. LOUNGE CHAIRS W/ FIRE PIT
7. DINING TABLE
8. LOUNGE LONG CHAIR
9. POOL ENTRY GATE
10. BBQ
11. RECREATION CENTER
12. VIEW FENCE
13. ENHANCED PAVING
14. REC POOL
15. SPA POOL
16. RESTROOMS
17. PUMP ROOM / SHOWERS
18. PICNIC TABLE PAVILION
19. LOUNGE CHAIRS W/ COFFEE TABLE
20. RESIDENTIAL BUILDING
21. PEDESTRIAN CROSSWALK
22. ACTIVITY LAWN
23. PALM GROVE
24. STREET TREES
25. ACCENT TREES
26. MAILBOX KIOSK
27. BIKE RACK

Recreational Center Enlargement



MADRONA AVENUE



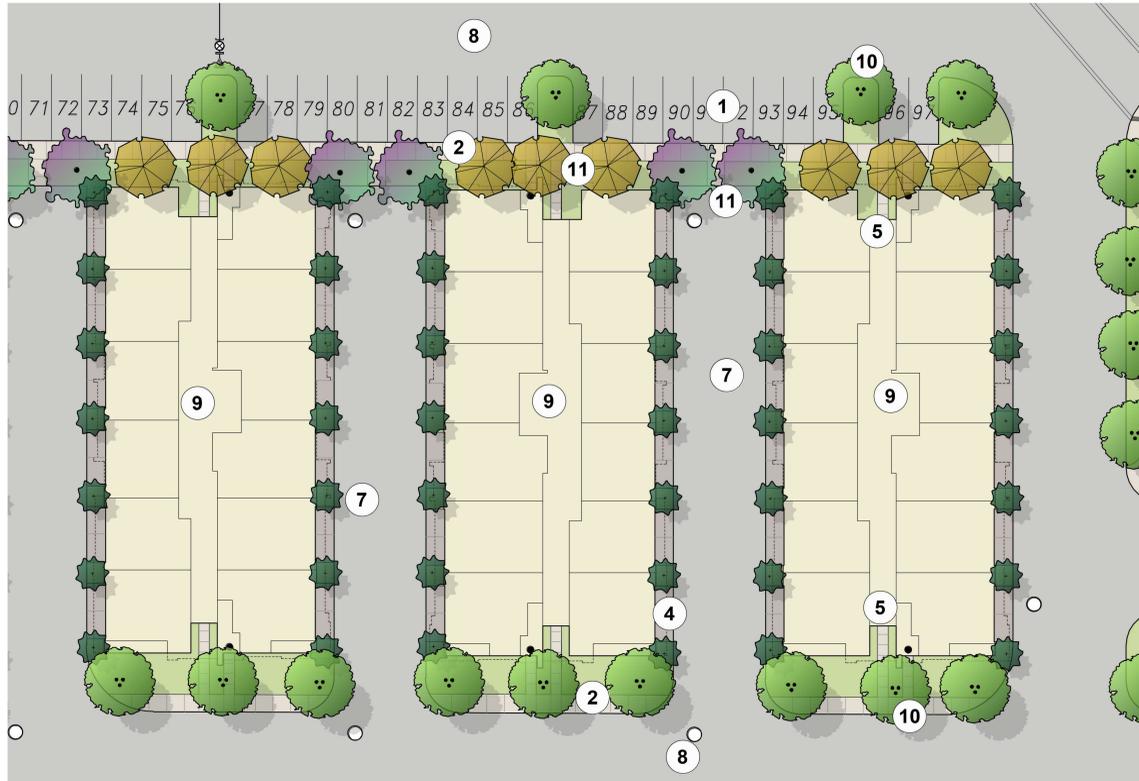
Park Enlargement

TREE PLANTING LEGEND			
SYMBOL	BOTANICAL/COMMON NAME	SIZE	WUCOLS
MADRONA AVENUE STREET TREE			
	JACARANDA MIMOSIFOLIA	36" BOX STD.	L
	FERN TREE	20' HIGH	
	TRISTANIA CONFERTA	36" BOX STD.	M
	BRISBANE BOX	30' - 45' H	
DEL AMO CIRCLE STREET TREES			
	TIPUANA TIPU	36" BOX STD.	M
	TIPU TREE	40' HIGH	
	TIPUANA TIPU	EXISTING	M
	TIPU TREE	40' HIGH	
FASHION WAY STREET TREE			
	QUERCUS VIRGINIANA	36" BOX STD.	L
	SOUTHERN LIVE OAK	20' HIGH	
	TRISTANIA CONFERTA	36" BOX STD.	M
	BRISBANE BOX	30' - 45' H	
WEST CARSON STREET TREE			
	PODOCARPUS GRACILIOR	36" BOX STD.	M
	FERN PINE	30' HIGH	
	TRISTANIA CONFERTA	36" BOX STD.	M
	BRISBANE BOX	30' - 45' H	
PROJECT ENTRY - PARK CANOPY PALM TREES			
	PHOENIX DACTYLIFERA	18" BTH STD.	L
	DATE PALM	20' - 40' HIGH	

TREE PLANTING LEGEND			
SYMBOL	BOTANICAL/COMMON NAME	SIZE	WUCOLS
INTERNAL SPINE TREE			
	OLEA EUROPAEA	LARGE	VL
	COMMON OLIVE	FIELD DUG	
PASEO/PARK ACCENT TREE			
	ARBUTUS 'MARINA'	36" BOX STD.	M
	STRAWBERRY TREE		
ALLEY ACCENT TREES			
	LAGERSTROEMIA INDICA 'NACHEZ'	36" BOX STD.	M
	CREPE MYRTLE		
PARK ACCENT TREES			
	ULMUS PARVIFOLIA 'DRAKE'	36" BOX STD.	L
	EVERGREEN ELM		
	LAGERSTROEMIA INDICA 'NACHEZ'	36" BOX STD.	M
	CREPE MYRTLE		
ALLEY WALK TREES			
	PRUNUS CAROLINIANA	24" BOX STD.	M
	CAROLINA CHERRY LAUREL		
	PODOCARPUS GRACILIOR	24" BOX	M
	FERN PINE		

LEGEND

- 1. RESIDENCE/GUEST PARKING
- 2. CONCRETE WALKWAY
- 3. PARKWAY
- 4. SHADE SAIL
- 5. OVERHEAD TRELLIS
- 6. BENCH
- 7. PICNIC TABLE
- 8. LOUNGE SETTING
- 9. LOW SEAT WALLS
- 10. HAMMOCK
- 11. TRASH CANS
- 12. BBQ
- 13. BLENDER SPINNER
- 14. CORNER PLAZA
- 15. ACTIVITY LAWN
- 16. REVIWHEEL SPINNER
- 17. ENHANCED PAVING
- 18. CURVA SPINNER
- 19. VIEW FENCE
- 20. CORNER SIGNAGE WALL
- 21. PEDESTRIAN GATE
- 22. ENTRY PLAZA
- 23. ART PLAZA
- 24. ART GARDEN



NEIGHBORHOOD PRODUCT



NEIGHBORHOOD PRODUCT

TREE PLANTING LEGEND			
SYMBOL	BOTANICAL/COMMON NAME	SIZE	WUCOLS
	MADRONA AVENUE STREET TREE	JACARANDA MIMOSIFOLIA FERN TREE TRISTANIA CONFERTA BRISBANE BOX	36" BOX STD. L 36" BOX STD. M 30' - 45' H
	DEL AMO CIRCLE STREET TREES	TIPUANA TIPU TIPU TREE 42" HIGH TIPUANA TIPU TIPU TREE 40" HIGH	36" BOX STD. M EXISTING M
	FASHION WAY STREET TREE	QUERCUS VIRGINIANA SOUTHERN LIVE OAK 20" HIGH TRISTANIA CONFERTA BRISBANE BOX	36" BOX STD. L 36" BOX STD. M 30' - 45' H
	WEST CARSON STREET TREE	PODOCARPUS GRACILIOR FERN PINE 30" HIGH TRISTANIA CONFERTA BRISBANE BOX	36" BOX STD. M 36" BOX STD. M 30' - 45' H
	PROJECT ENTRY - PARK CANOPY PALM TREES	PHOENIX DACTYLIFERA DATE PALM 20' - 40' HIGH	18" BTH STD. L
	INTERNAL SPINE TREE	OLEA EUROPAEA COMMON OLIVE	LARGE FIELD DUG VL
	PASEO/PARK ACCENT TREE	ARBUTUS 'MARINA' STRAWBERRY TREE	36" BOX STD. M
	ALLEY ACCENT TREES	LAGERSTROEMIA INDICA 'NACHEZ' CREPE MYRTLE	36" BOX STD. M
	PARK ACCENT TREES	ULMUS PARVIFOLIA 'DRAKE' EVERGREEN ELM LAGERSTROEMIA INDICA 'NACHEZ' CREPE MYRTLE	36" BOX STD. L 36" BOX STD. M
	ALLEY WALK TREES	PRUNUS CAROLINIANA CAROLINA CHERRY LAUREL PODOCARPUS GRACILIOR FERN PINE	24" BOX STD. M 24" BOX STD. M



NEIGHBORHOOD PRODUCT

LEGEND

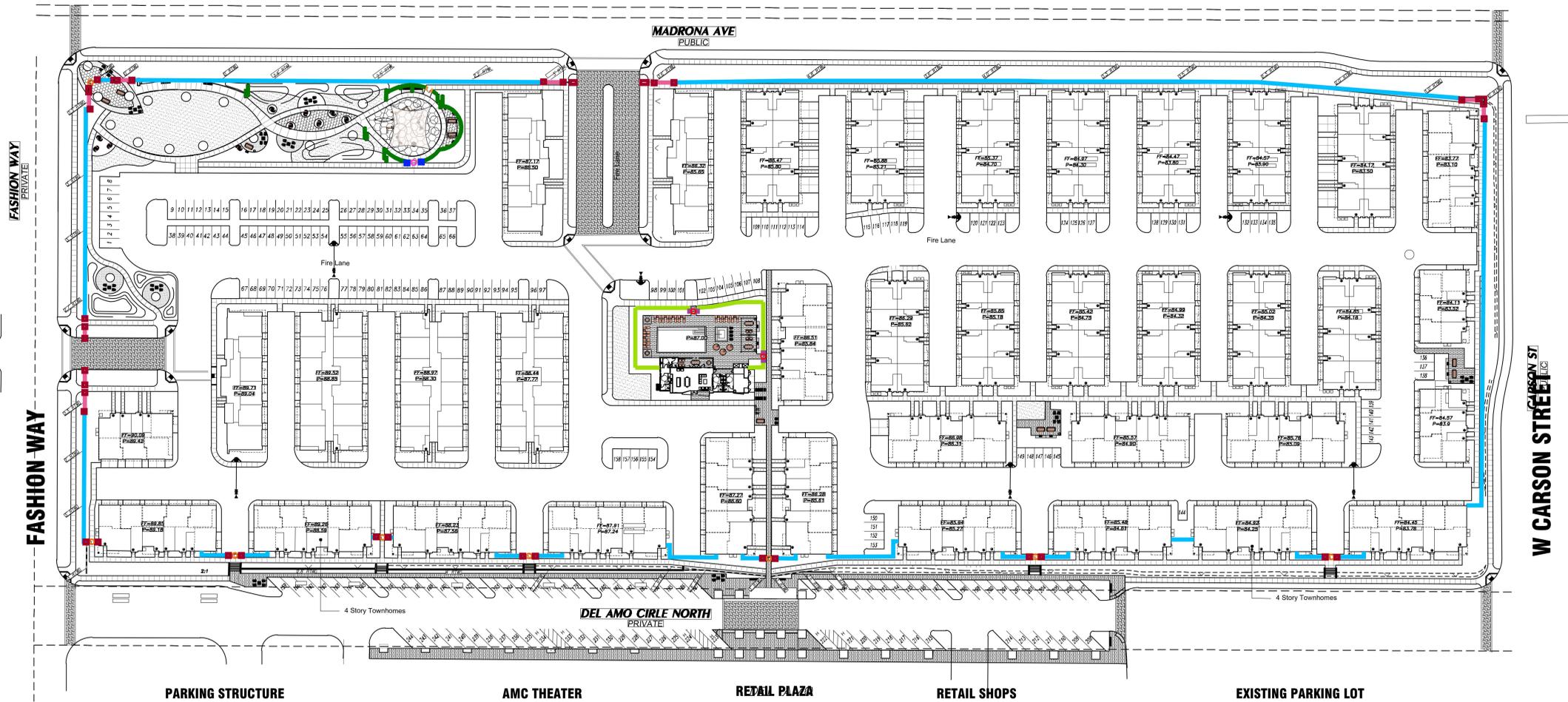
1. RESIDENCE PARKING
2. CONCRETE WALKWAY
3. PARKWAY
4. DRIVE WAY
5. BUILDING ENTRY
6. POCKET PARK
7. ALLEY STREET
8. SPINE STREET
9. RESIDENTIAL BUILDING
10. STREET TREE
11. ACCENT TREE



SCALE: 1" = 20' - 0"

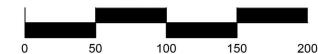


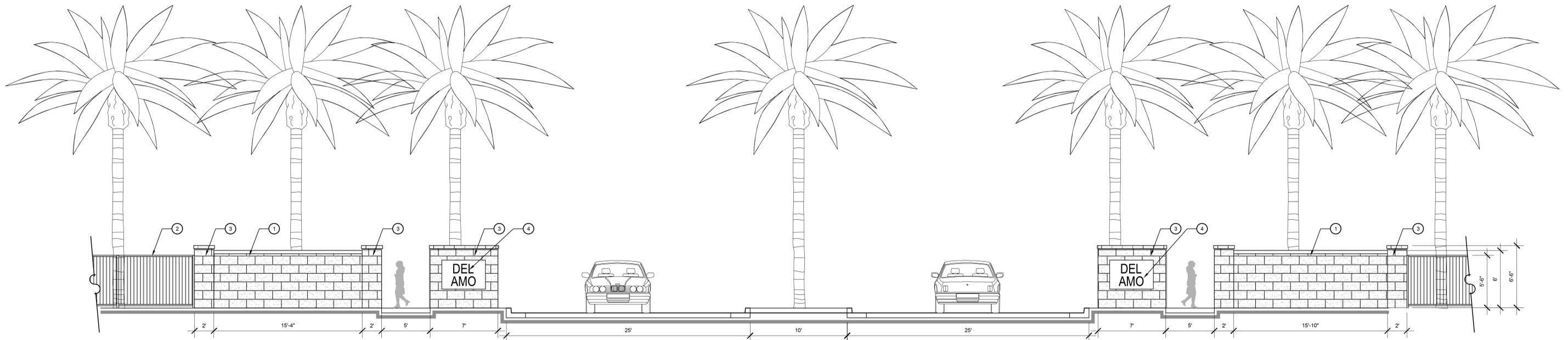
MADRONA AVENUE



WALL AND FENCE LEGEND:

-  6'-0" HIGH ENHANCED ENTRY/ MONUMENT SOLID MASONRY WALL
-  6' HIGH TUBULAR STEEL POOL FENCE
-  6' HIGH TUBULAR STEEL PERIMETER VIEW FENCE
-  42" LOW ENHANCED SOLID MASONRY @ TOT LOT ENCLOSURE WALL
-  42" LOW TUBULAR STEEL @ TOT LOT ENCLOSURE FENCE
-  5'-6" HIGH TUBULAR PEDESTRIAN STEEL GATE WITH KEY FOB
-  42" HIGH TUBULAR PEDESTRIAN @ TOT LOT ENCLOSURE STEEL GATE
-  5'-6" HIGH TUBULAR PEDESTRIAN STEEL POOL GATE WITH KEY FOB
-  6'-6" HIGH ENHANCED ENTRY/MONUMENT SOLID MASONRY PILASTERS
-  6'-6" HIGH SOLID MASONRY PILASTERS
-  48" HIGH ENHANCED SOLID MASONRY @ TOT LOT ENCLOSURE PILASTERS





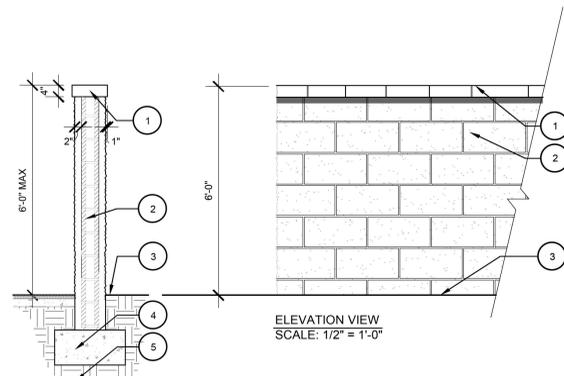
ELEVATION VIEW
SCALE: 1/4" = 1'-0"

LEGEND

- 1. 6'-0" HIGH ENHANCED SOLID MASONRY WALL
- 2. 6'-0" HIGH TUBULAR STEEL VIEW FENCE
- 3. 6'-6" HIGH ENHANCED SOLID MASONRY PILASTER MONUMENT SIGN W/ PRECAST CONCRETE & BACKLIT ALUMINUM PINED LETTERS
- 4.

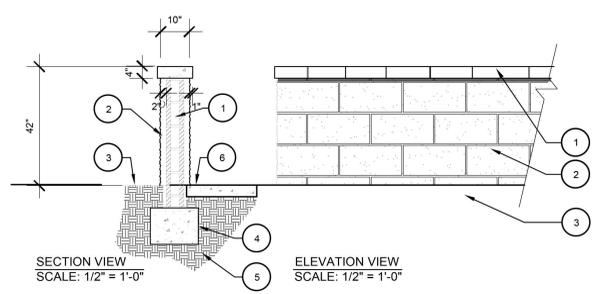
VEHICULAR ENHANCED ENTRY

SCALE: 1/2" = 1'-0"



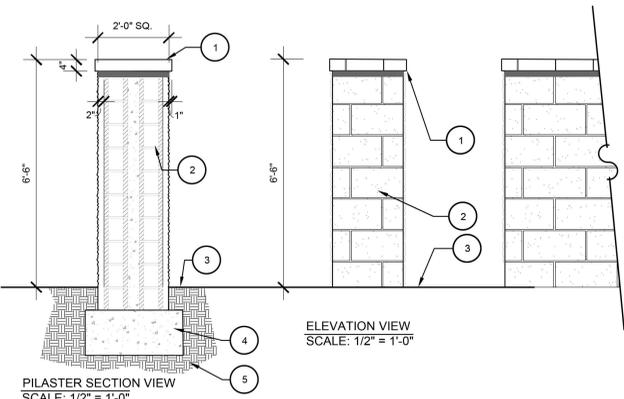
- SECTION VIEW**
SCALE: 1/2" = 1'-0"
- LEGEND**
- 4" PRECISION WALL CAP (TYP)
 - 6X8X16 ENHANCED SOLID MASONRY WALL
 - FINISH GRADE
 - CONCRETE FOOTING
 - COMPACT SUBGRADE

6'-0" HIGH ENHANCED ENTRY / MONUMENT SOLID MASONRY WALL
SCALE: 1/2" = 1'-0"



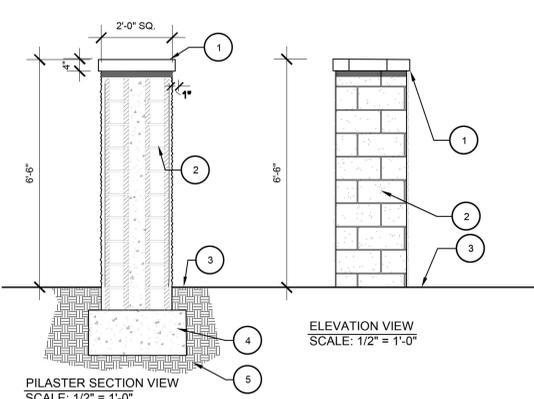
- SECTION VIEW**
SCALE: 1/2" = 1'-0"
- ELEVATION VIEW**
SCALE: 1/2" = 1'-0"
- LEGEND**
- CMU CONCRETE WALL CAP
 - 6X8X16 CMU BLOCK WALL
 - FINISH GRADE
 - CONCRETE FOOTING
 - COMPACT SUBGRADE
 - PATIO FINISH SURFACE

42" LOW ENHANCED SOLID MASONRY @ TOT LOT ENCLOSURE WALL
SCALE: 1/2" = 1'-0"



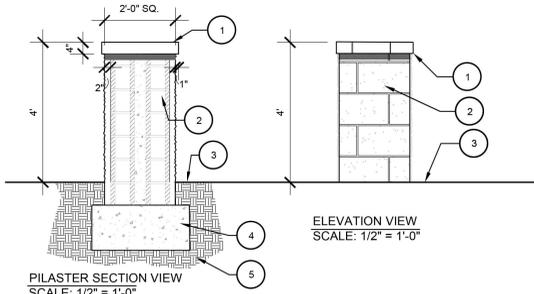
- PILASTER SECTION VIEW**
SCALE: 1/2" = 1'-0"
- ELEVATION VIEW**
SCALE: 1/2" = 1'-0"
- LEGEND**
- PRECAST CONCRETE WALL CAP
 - 8X8X16 ENHANCED SOLID BLOCK PILASTER
 - FINISH GRADE
 - CONCRETE FOOTING
 - COMPACT SUBGRADE

6'-6" HIGH ENHANCED ENTRY / MONUMENT SOLID MASONRY PILASTER
SCALE: 1/2" = 1'-0"



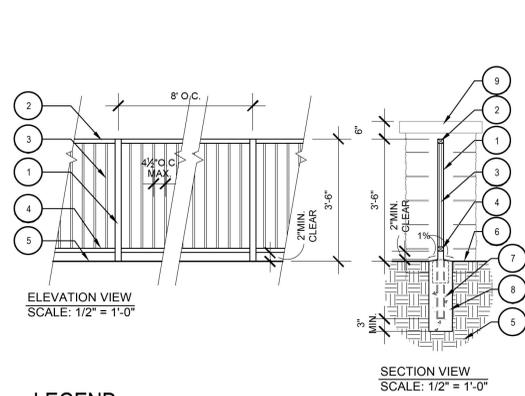
- PILASTER SECTION VIEW**
SCALE: 1/2" = 1'-0"
- ELEVATION VIEW**
SCALE: 1/2" = 1'-0"
- LEGEND**
- PRECAST CONCRETE WALL CAP
 - 8X8X16 ENHANCED SOLID BLOCK PILASTER
 - FINISH GRADE
 - CONCRETE FOOTING
 - COMPACT SUBGRADE

6'-6" HIGH SOLID MASONRY PILASTER
SCALE: 1/2" = 1'-0"



- PILASTER SECTION VIEW**
SCALE: 1/2" = 1'-0"
- ELEVATION VIEW**
SCALE: 1/2" = 1'-0"
- LEGEND**
- PRECAST CONCRETE WALL CAP
 - 8X8X16 ENHANCED SOLID BLOCK PILASTER
 - FINISH GRADE
 - CONCRETE FOOTING
 - COMPACT SUBGRADE

48" HIGH ENHANCED SOLID MASONRY @ TOT LOT ENCLOSURE PILASTER
SCALE: 1/2" = 1'-0"

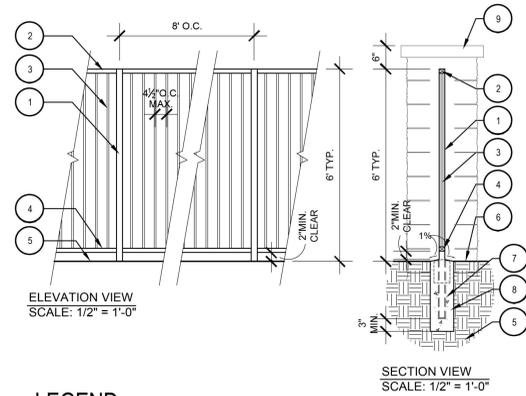


LEGEND

- | | |
|---|---------------------------|
| 1. 1-1/2" x 2" 16 GA. TUBULAR STEEL POST | 6. FINISH GRADE |
| 2. 1 1/2" SQ. TUBULAR STEEL TOP RAIL | 7. SINK POST INTO FOOTING |
| 3. 3/8" SQ. TUBULAR STEEL PICKETS @ 4 1/2" MAXIMUM O.C. | 8. CONCRETE FOOTING |
| 4. 1 1/2" SQ. TUBULAR STEEL BOTTOM RAIL | 9. PILASTER |
| 5. COMPACTED SUBGRADE | |

42" LOW TUBULAR STEEL @ TOT LOT ENCLOSURE FENCE

SCALE: 1/2" = 1'-0"

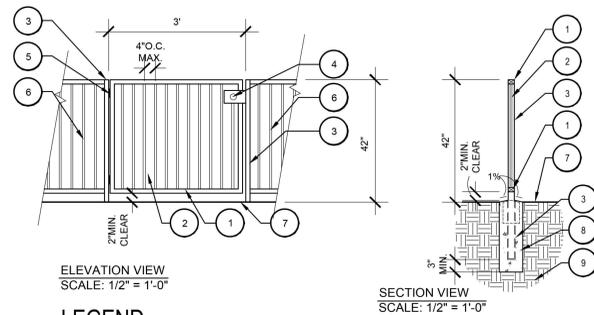


LEGEND

- | | |
|---|---------------------------|
| 1. 1-1/2" x 2" 16 GA. TUBULAR STEEL POST | 6. FINISH GRADE |
| 2. 1 1/2" SQ. TUBULAR STEEL TOP RAIL | 7. SINK POST INTO FOOTING |
| 3. 3/8" SQ. TUBULAR STEEL PICKETS @ 4 1/2" MAXIMUM O.C. | 8. CONCRETE FOOTING |
| 4. 1 1/2" SQ. TUBULAR STEEL BOTTOM RAIL | 9. PILASTER |
| 5. COMPACTED SUBGRADE | |

6'-0" HIGH TUBULAR STEEL PERIMETER VIEW FENCE / POOL FENCE

SCALE: 1/2" = 1'-0"

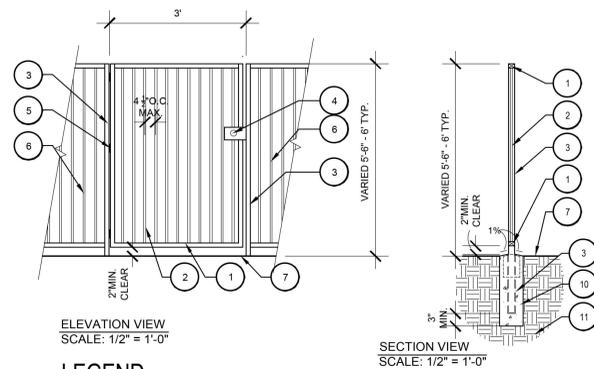


LEGEND

- | | |
|--|-----------------------|
| 1. 1-1/2" x 2" x 16 GA. METALIZED TUBULAR STEEL GATE FRAME. | 8. CONCRETE FOOTING |
| 2. 3/4" SQ. x 16 GA. METALIZED TUBULAR STEEL PICKETS EQUALLY SPACED AT 4" MAXIMUM ON CENTER. | 9. COMPACTED SUBGRADE |
| 3. 2" SQ GATE POST | |
| 4. LOCKABLE HANDLE / LATCH | |
| 5. SELF CLOSING GATE HINGES | |
| 6. WALL / FENCING | |
| 7. FINISH GRADE | |

42" HIGH TUBULAR PEDESTRIAN STEEL @ TOT LOT ENCLOSURE GATE

SCALE: 1/2" = 1'-0"

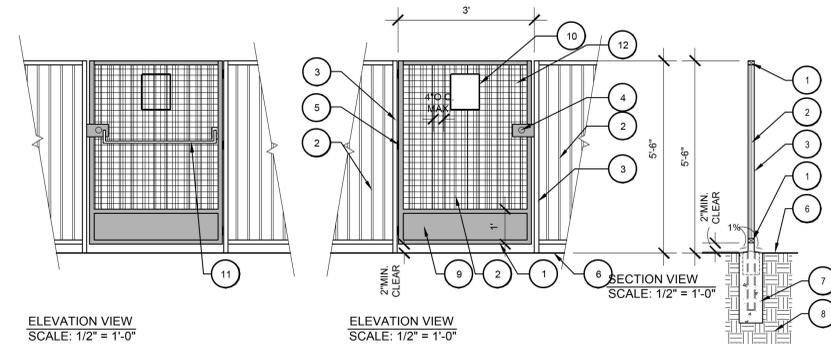


LEGEND

- | | |
|--|--|
| 1. 1-1/2" x 2" x 16 GA. METALIZED TUBULAR STEEL GATE FRAME. | 8. PRECAST CONCRETE WALL CAP- REFER TO FINISH SCHEDULE |
| 2. 5/8" SQ. x 16 GA. METALIZED TUBULAR STEEL PICKETS EQUALLY SPACED AT 4 1/2" MAXIMUM ON CENTER. | 9. 8X8X16 ONE SIDED SPLIT FACE BLOCK- REFER TO FINISH SCHEDULE |
| 3. 2" SQ GATE POST | 10. CONCRETE FOOTING |
| 4. LOCKABLE HANDLE / LATCH | 11. COMPACTED SUBGRADE |
| 5. SELF CLOSING GATE HINGES | |
| 6. WALL / FENCING | |
| 7. FINISH GRADE | |

5'-6" HIGH TUBULAR PEDESTRIAN STEEL GATE WITH KEY FOB

SCALE: 1/2" = 1'-0"

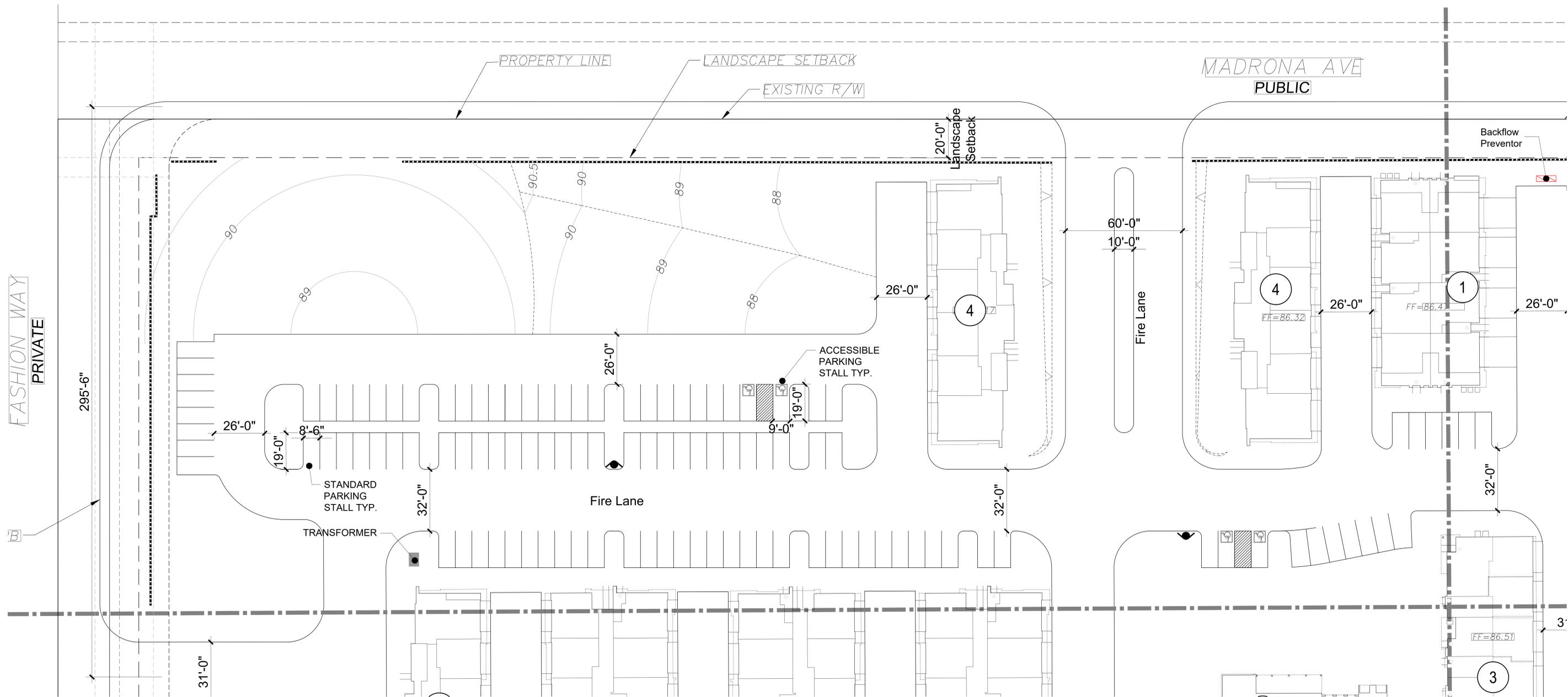


LEGEND

- | | |
|--|---|
| 1. 1-1/2" x 2" x 16 GA. METALIZED TUBULAR STEEL GATE FRAME. | 12. 3/8" X 16 GA. PERFORATED STEEL PANEL, SQUARE, TACK WELDED TO FRAME. COLOR PER FINISH SCHEDULE |
| 2. 3/4" SQ. x 16 GA. METALIZED TUBULAR STEEL PICKETS EQUALLY SPACED AT 4" MAXIMUM ON CENTER. | |
| 3. 2" SQ GATE POST | |
| 4. LOCKABLE HANDLE / LATCH | |
| 5. SELF CLOSING GATE HINGES | |
| 6. FINISH GRADE | |
| 7. CONCRETE FOOTING | |
| 8. COMPACTED SUBGRADE | |
| 9. 3/4" SOLID KICKPLATE - SMOOTH SURFACE PUSH SIDE | |
| 10. HOURS OF OPERATION BY OTHERS | |
| 11. PANIC HARDWARE PER SHOP DRAWINGS | |

5'-6" HIGH TUBULAR PEDESTRIAN STEEL POOL GATE WITH KEY FOB

SCALE: 1/2" = 1'-0"



Product Legend

- ① Product A - Back to Back TH - 8-Plex
- ② Product B - Rowtowns - 4 - Plex
- ③ Product B - Rowtowns - 6 - Plex
- ④ Product C - 6 - Unit Buildings
- ⑤ Product C - 12 - Unit Buildings
- ⑥ Rec/Pool Building

Key Map / Sheet Legend

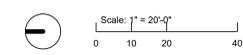


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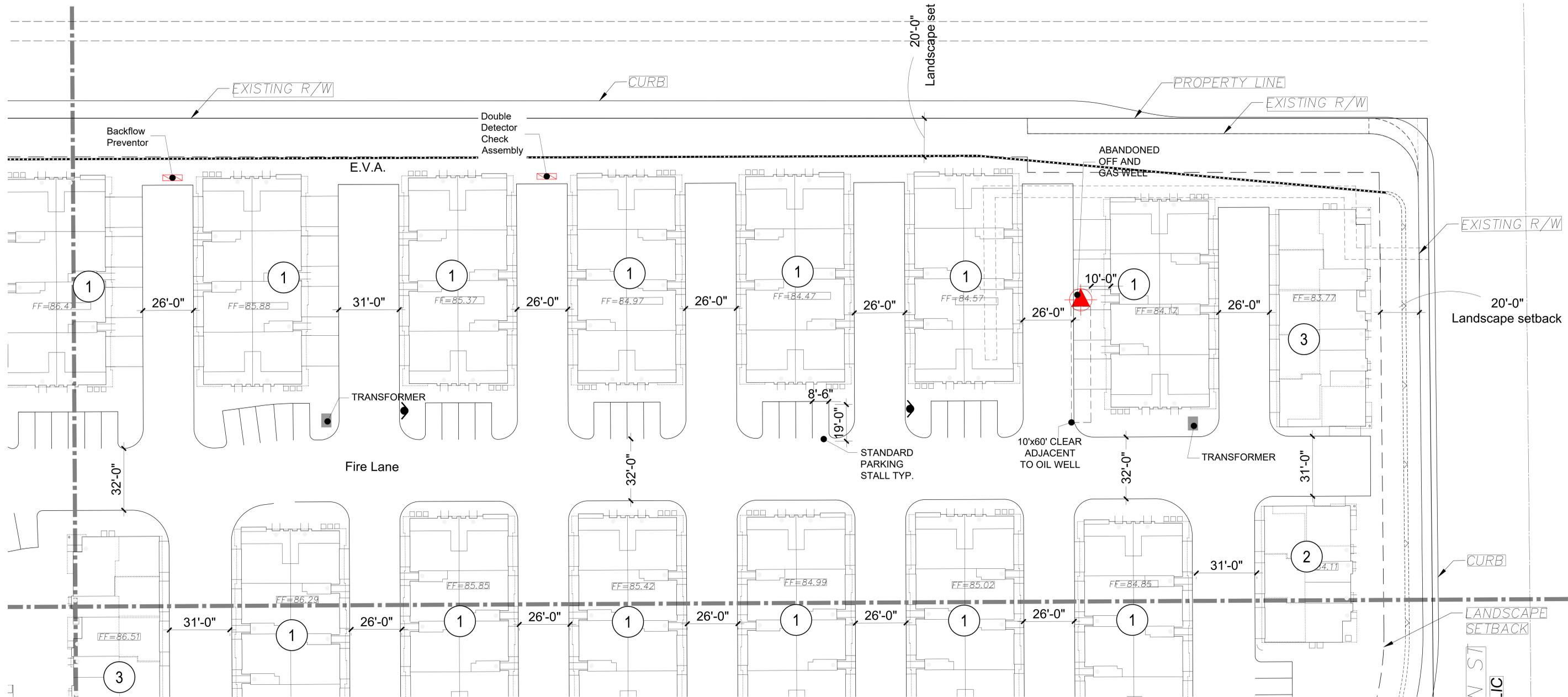
DEL AMO
TORRANCE, CA # 2020-0686

SCHMATIC DESIGN
MAY 30, 2024



SITE PLAN
SITE PLAN DETAILED

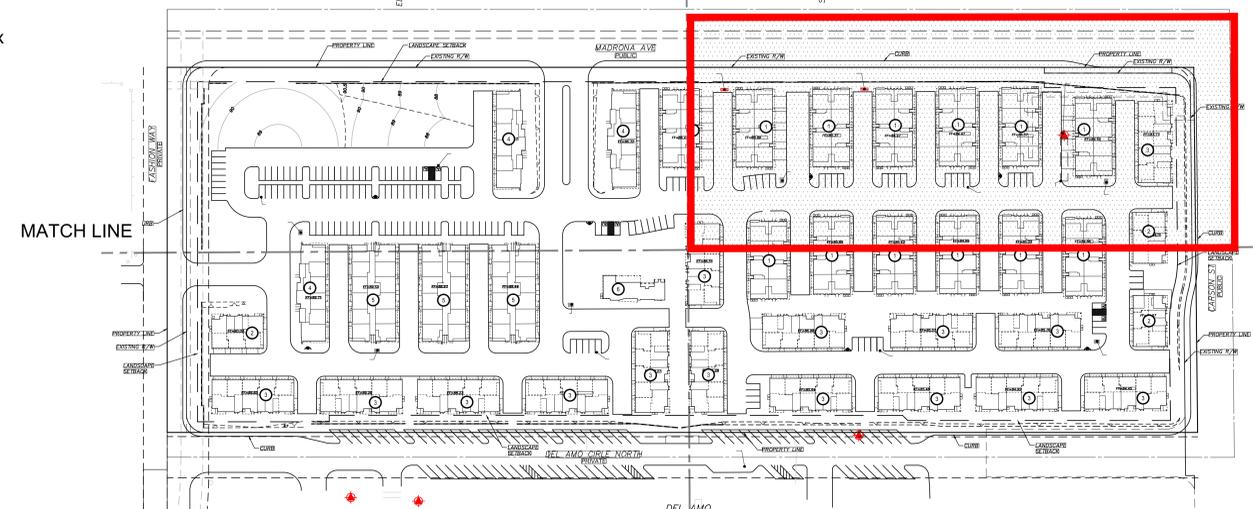
A1.1



Product Legend

- ① Product A - Back to Back TH - 8-Plex
- ② Product B - Rowtowns - 4 - Plex
- ③ Product B - Rowtowns - 6 - Plex
- ④ Product C - 6 - Unit Buildings
- ⑤ Product C - 12 - Unit Buildings
- ⑥ Rec/Pool Building

Key Map / Sheet Legend

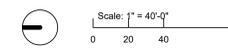


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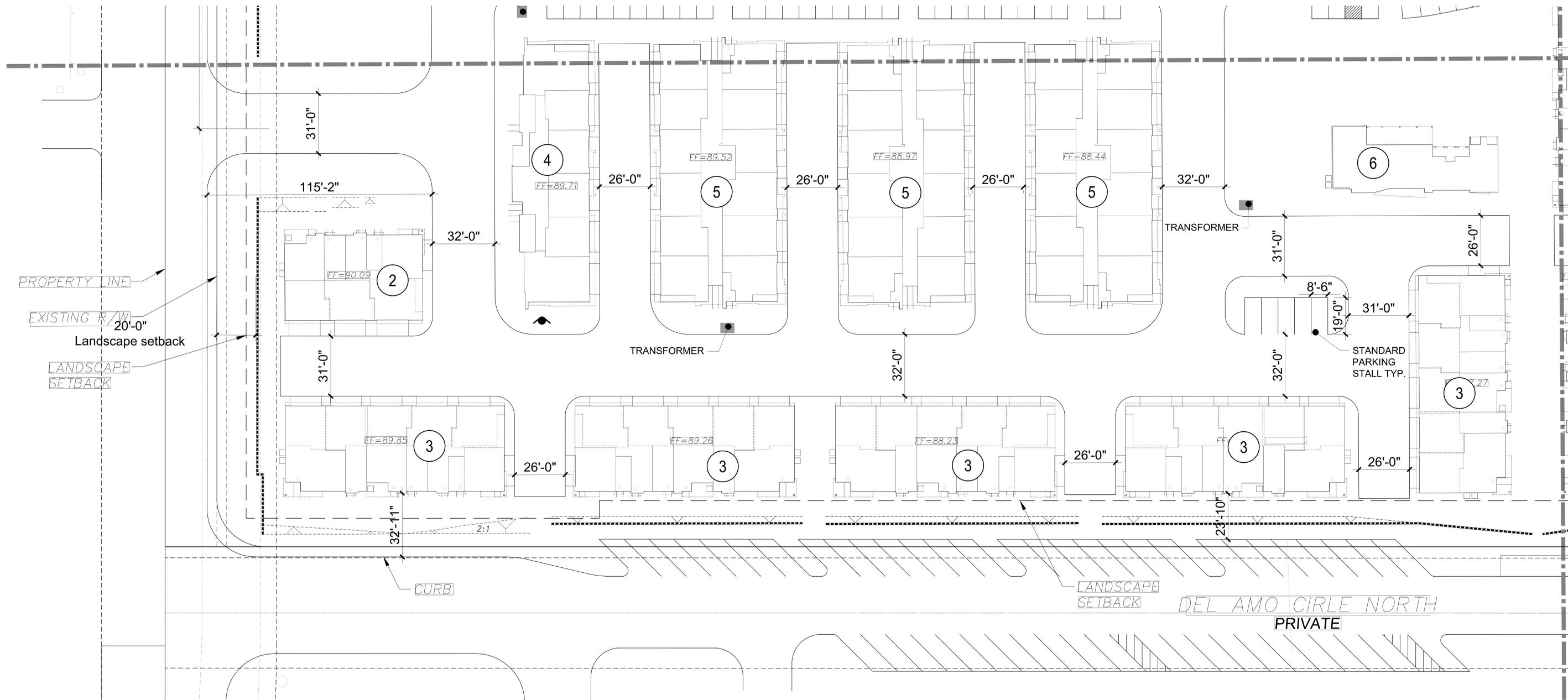
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SITE PLAN
SITE PLAN DETAILED

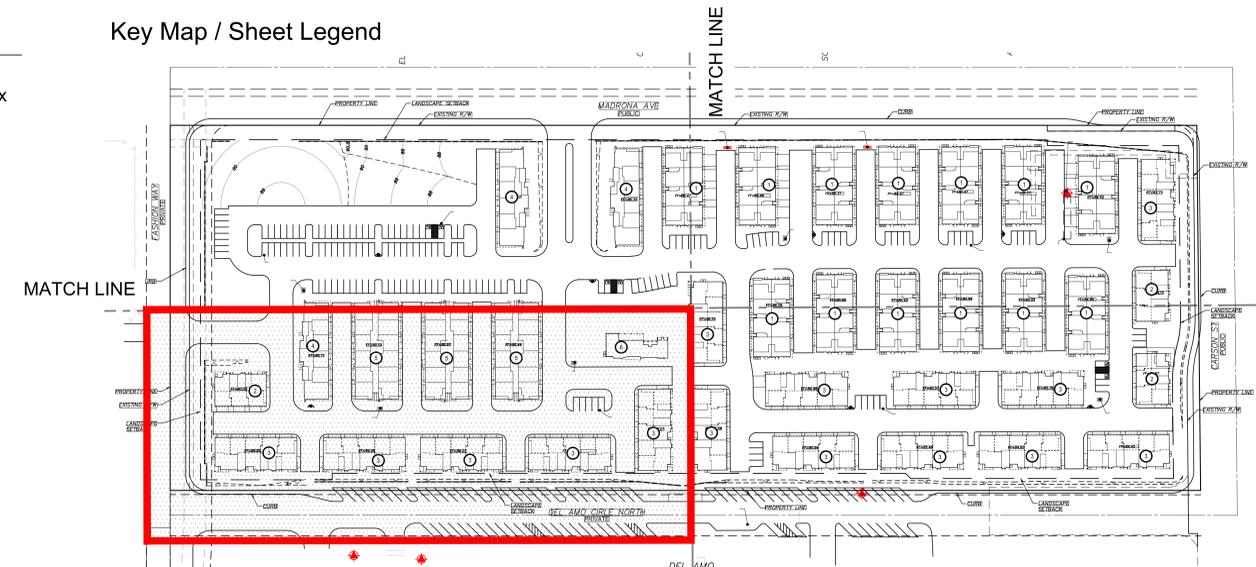
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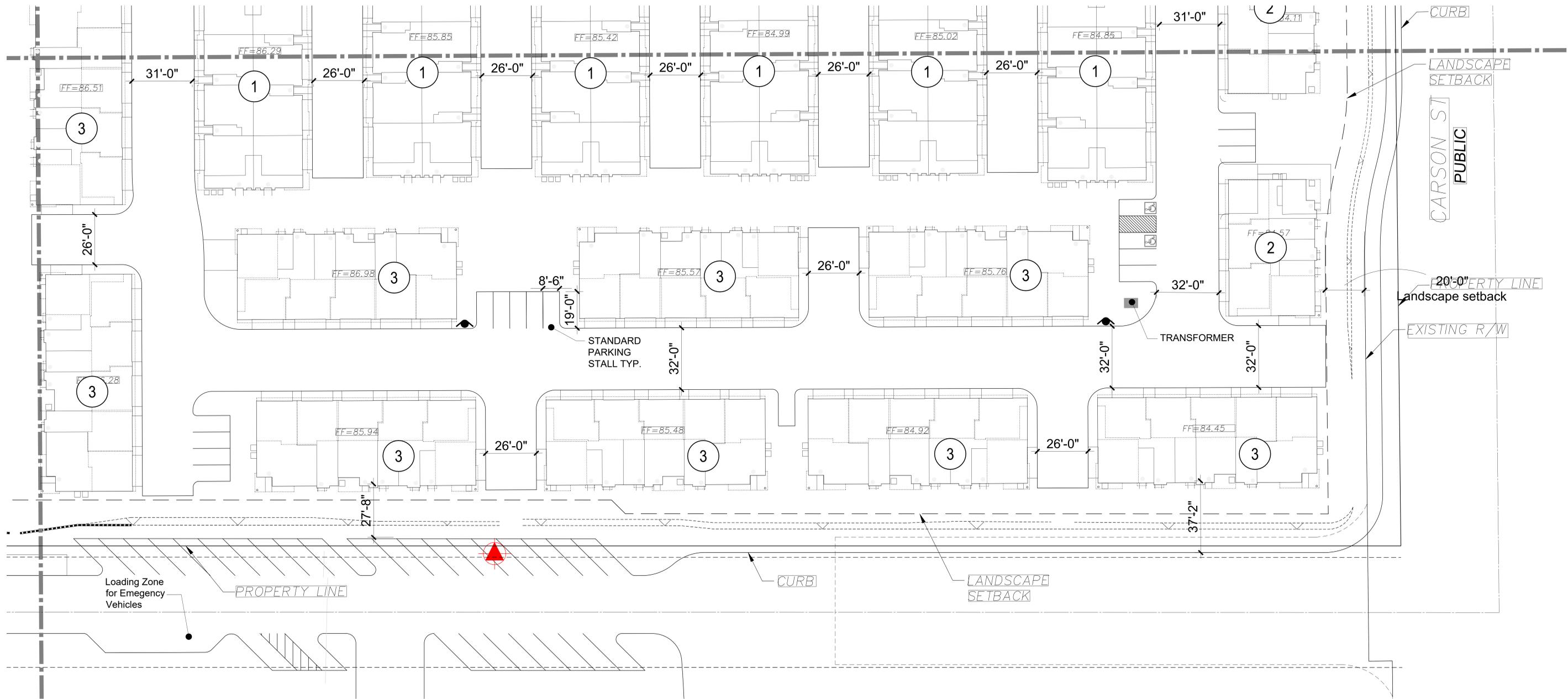


Product Legend

- ① Product A - Back to Back TH - 8-Plex
- ② Product B - Rowtowns - 4 - Plex
- ③ Product B - Rowtowns - 6 - Plex
- ④ Product C - 6 - Unit Buildings
- ⑤ Product C - 12 - Unit Buildings
- ⑥ Rec/Pool Building

Key Map / Sheet Legend

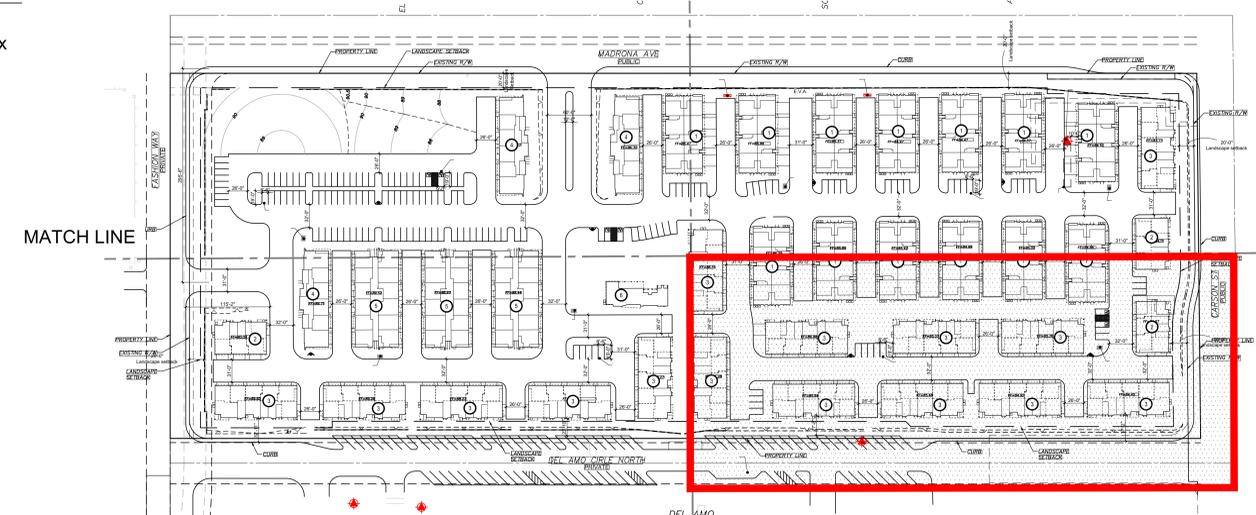


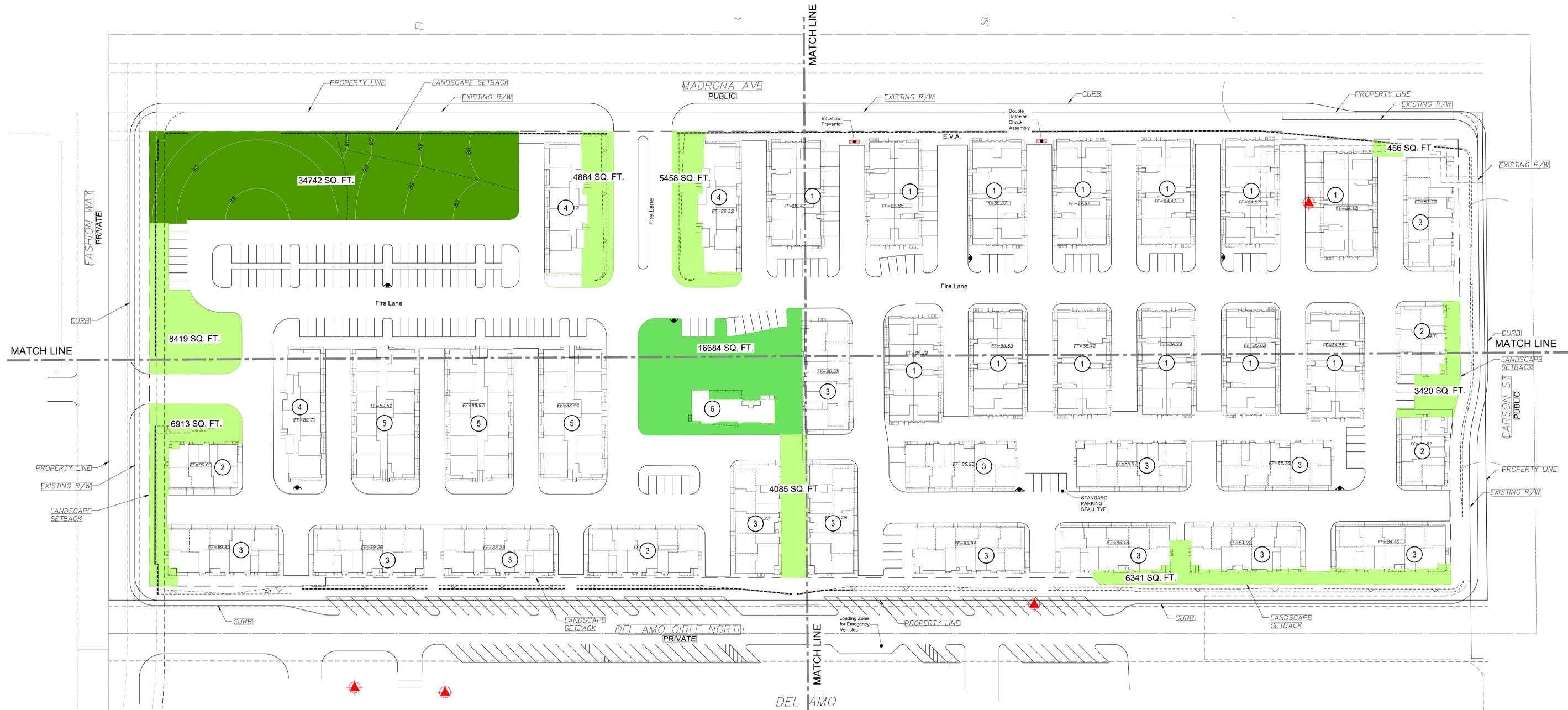


Product Legend

- ① Product A - Back to Back TH - 8-Plex
- ② Product B - Rowtowns - 4 - Plex
- ③ Product B - Rowtowns - 6 - Plex
- ④ Product C - 6 - Unit Buildings
- ⑤ Product C - 12 - Unit Buildings
- ⑥ Rec/Pool Building

Key Map / Sheet Legend





Product Legend

- ① Product A - Back to Back TH - 8-Plex
- ② Product B - Rowtowns - 4 - Plex
- ③ Product B - Rowtowns - 6 - Plex
- ④ Product C - 6 - Unit Buildings
- ⑤ Product C - 12 - Unit Buildings
- ⑥ Rec/Pool Building

LEGEND

- Park
- Amenity
- Landscape

Required Usable Open Space Area: 81,600 SF (300 SF / Dwelling Unit)				
Private Open Space Breakdown				
Plan	Deck Area (SF)	Area Increase	Quantity	Total Area (SF)
Back to Back TH Plan 1	55	No	52	2,860
Back to back TH Plan 2	54	No	52	2,808
Elevator Flats Plan 1	131	Yes	8	1,572
Elevator Flats Plan 2	159	Yes	28	6,678
Elevator Flats Plan 3	133	Yes	8	1,596
Elevator Flats Plan 4	544	Yes	8	6,528
Elevator Flats Plan 5	800	Yes	14	15,400
4 Story TH Plan 1	114	Yes	18	3,078
4 Story TH Plan 2	167	Yes	18	4,509
4 Story TH Plan 3	183	Yes	15	4,118
4 Story TH Plan 4	228	Yes	18	6,156
4 Story TH Plan 5	595	Yes	18	16,065
4 Story TH Plan 6	666	Yes	15	14,490
Total				85,858
Common Open Space Breakdown				Total Area (SF)
Park				34,742
Amenity				16,684
Landscape				39,976
Total				91,402
Total Provided Open Space Area				177,260
Useable Open Area / Dwelling Unit				652

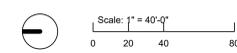


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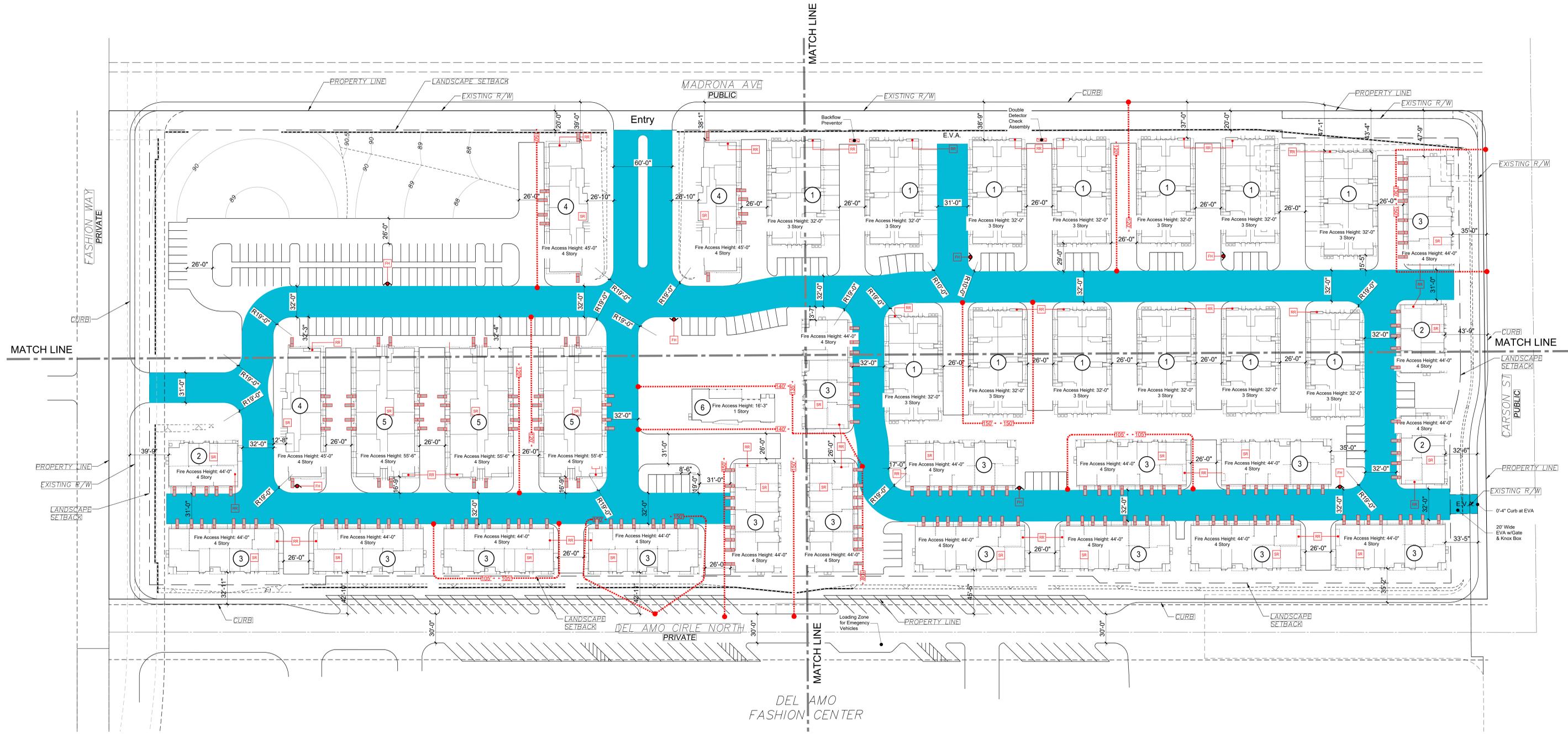
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COMMON OPEN SPACE EXHIBIT
SITE PLAN OVERALL

A1.5



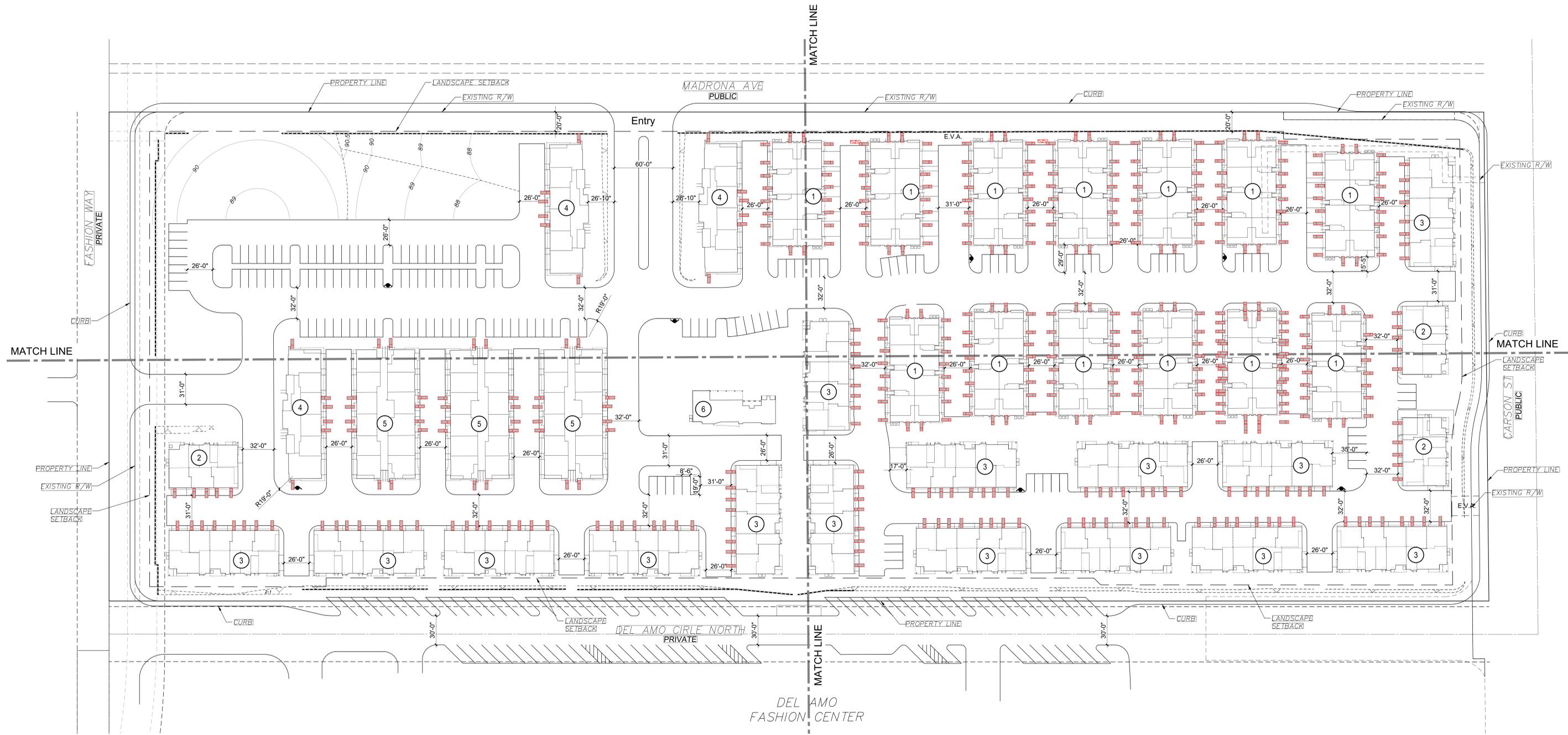
Product Legend

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- ② Product B - Rowtowns - 4 - Plex
- ③ Product B - Rowtowns - 6 - Plex
- ④ Product C - 6 - Unit Buildings
- ⑤ Product C - 12 - Unit Buildings
- ⑥ Rec/Pool Building

LEGEND

- Fire Access Route
- FH Fire Hydrant
- RR Fire Riser Room / FDC
- SR Stair Access to Roof
- 100' - Hose Pull

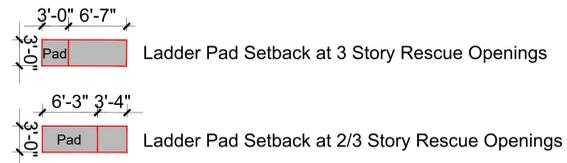
Note: All buildings provided with NFPA 13 fire sprinkler system



Product Legend

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- ② Product B - Rowtowns - 4 - Plex
- ③ Product B - Rowtowns - 6 - Plex
- ④ Product C - 6 - Unit Buildings
- ⑤ Product C - 12 - Unit Buildings
- ⑥ Rec/Pool Building

LEGEND









Fashion Avenue



W. Carson Street



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STREET SCENE ELEVATIONS
CARSON STREET AND FASHION AVENUE

A1.10



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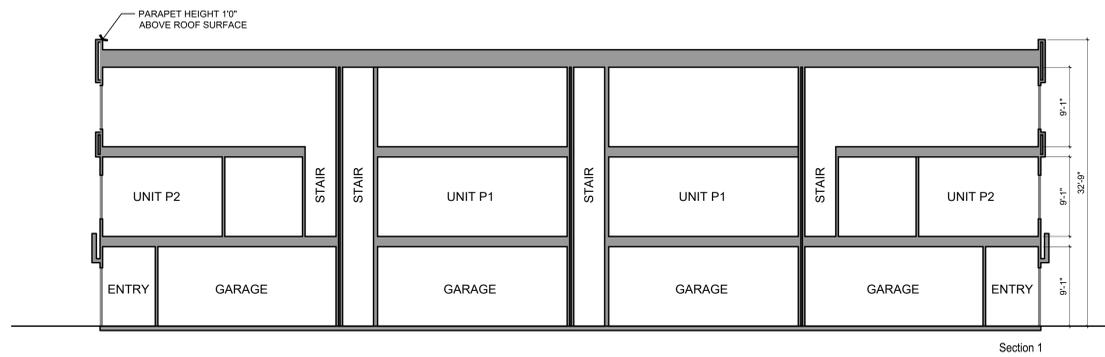
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BACK TO BACK - PERSPECTIVE

AA1.0



Material Legend

1. Parapet Roof
2. Stucco - 16 /20 Sand Float Finish
3. Fiber Cement Horizontal Siding
4. Vinyl Windows
5. Fiber Cement Trim
6. Fiber Cement Siding
7. Entry Door
8. Sectional Garage
9. Light Fixture



Left Elevation



Front Elevation



Right Elevation



Rear Elevation



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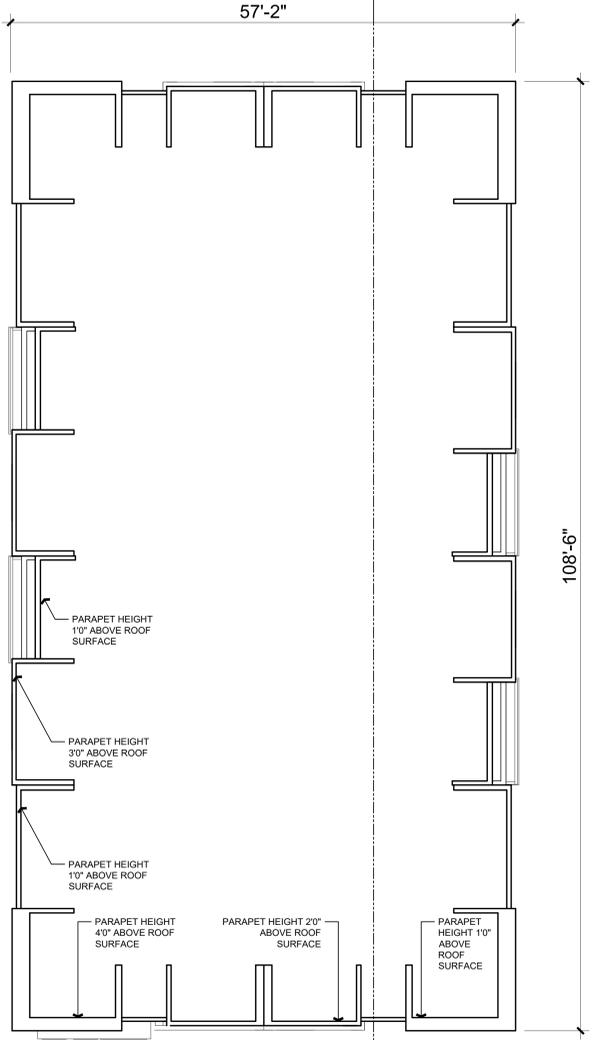
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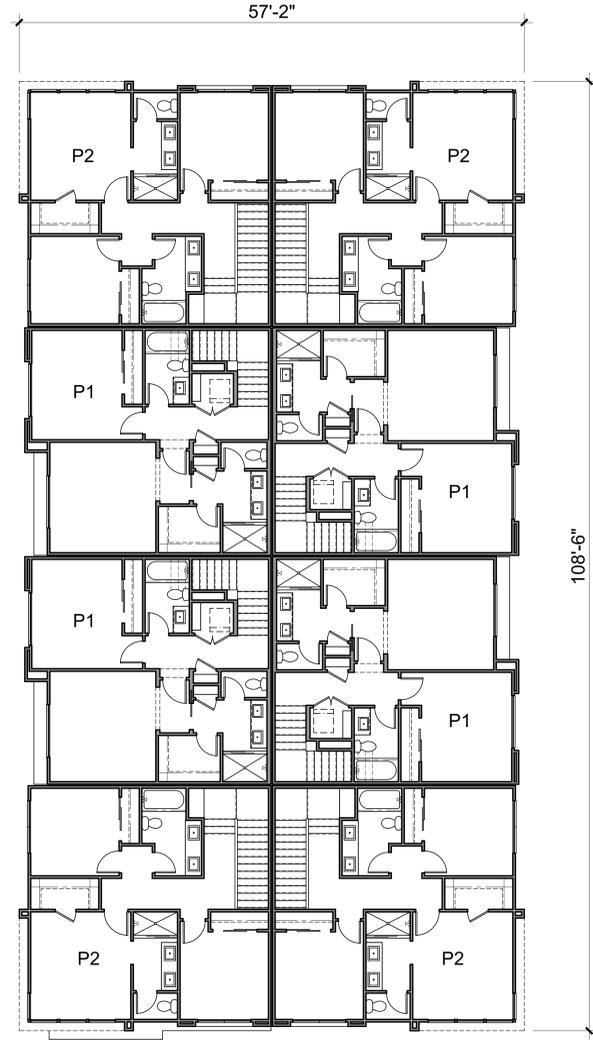


BACK TO BACK - ELEVATIONS
8-PLEX

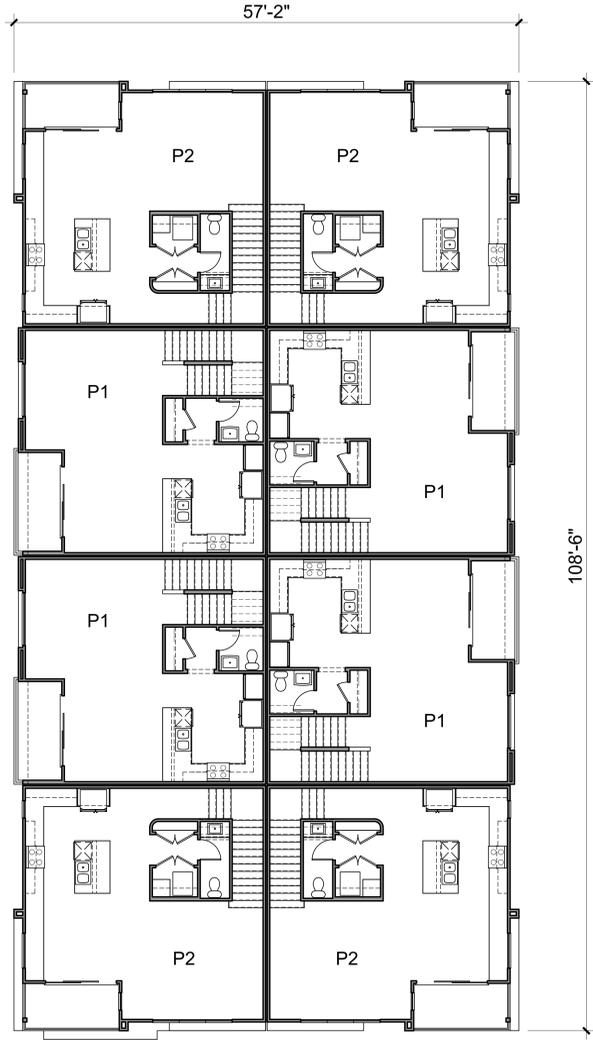
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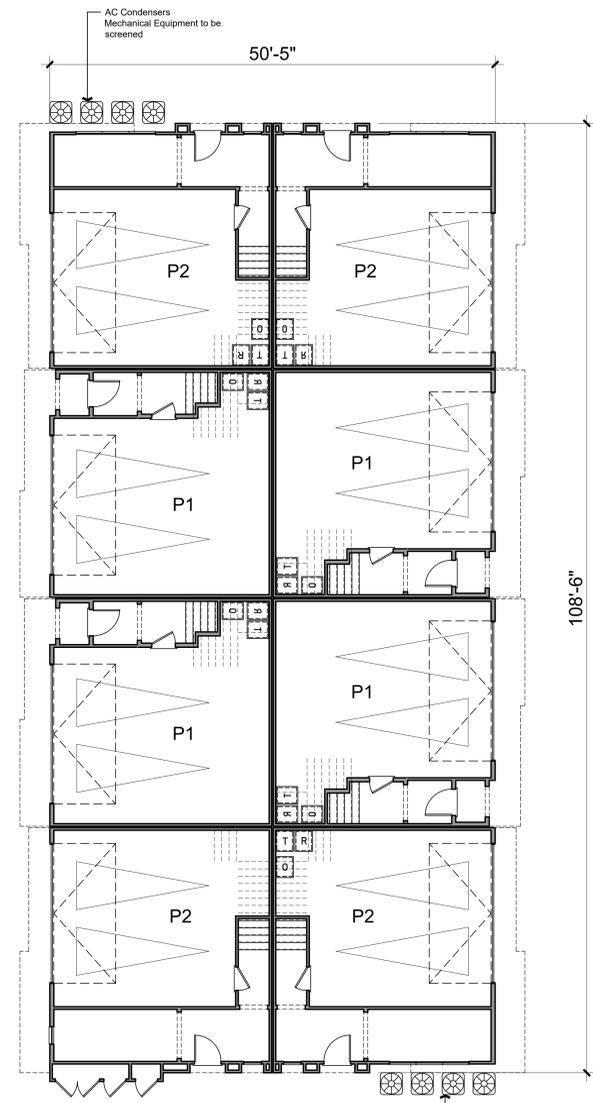
ROOF PLAN



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR



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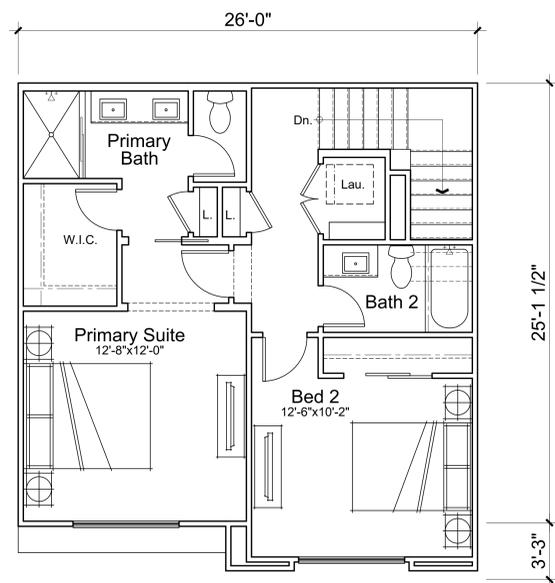
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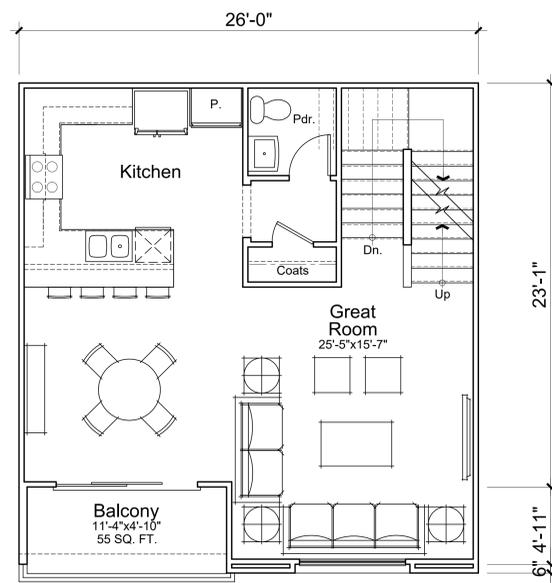


BACK TO BACK - BUILDING PLANS
8 Plex

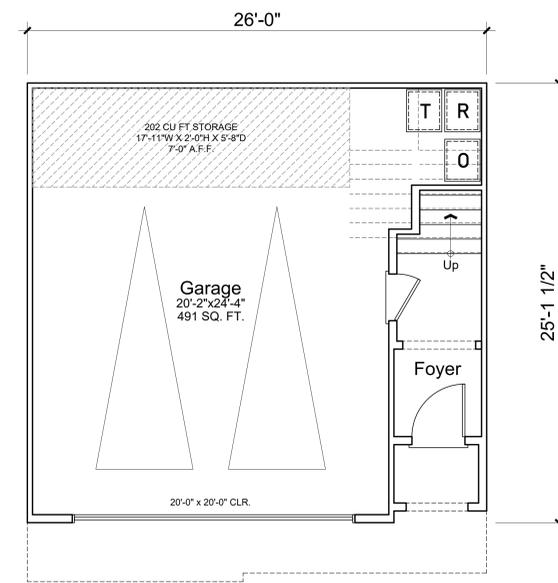
AA3.0



Third Floor



Second Floor



First Floor

Plan 1
2 Bed, 2.5 Bath

	NET SQ. FT.	GROSS SQ. FT.
1ST FLOOR	120 SQ. FT.	61 SQ. FT.
2ND FLOOR	632 SQ. FT.	670 SQ. FT.
3ND FLOOR	604 SQ. FT.	695 SQ. FT.
TOTAL LIVING	1356 SQ. FT.	1426 SQ. FT.



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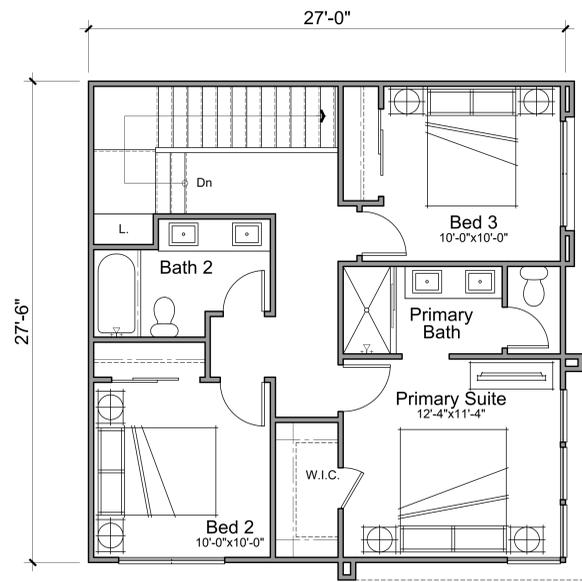
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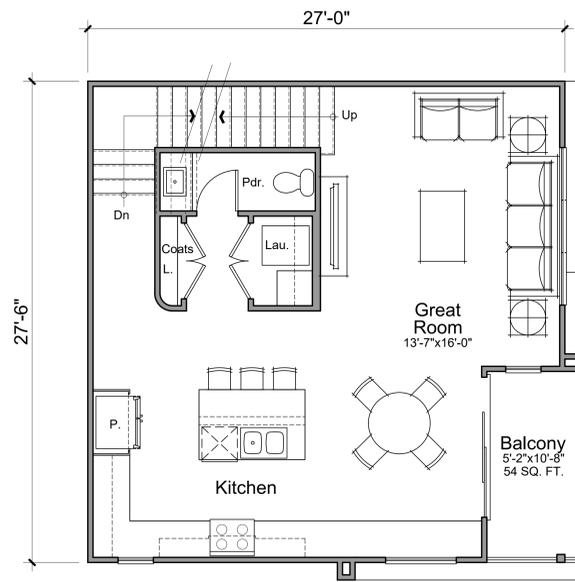


BACK TO BACK - UNIT PLANS
PLAN 1

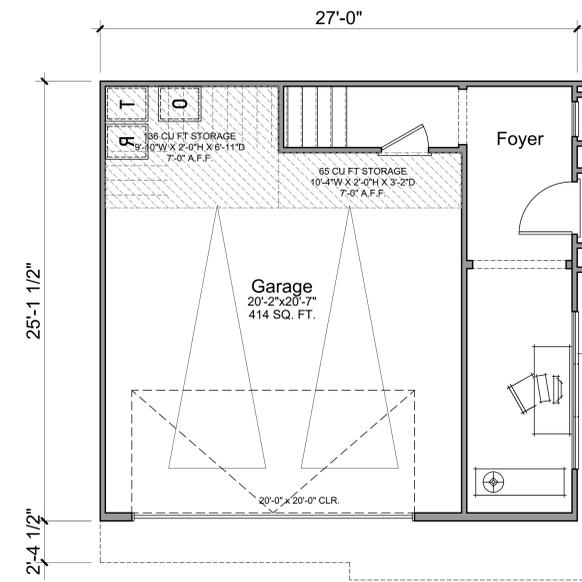
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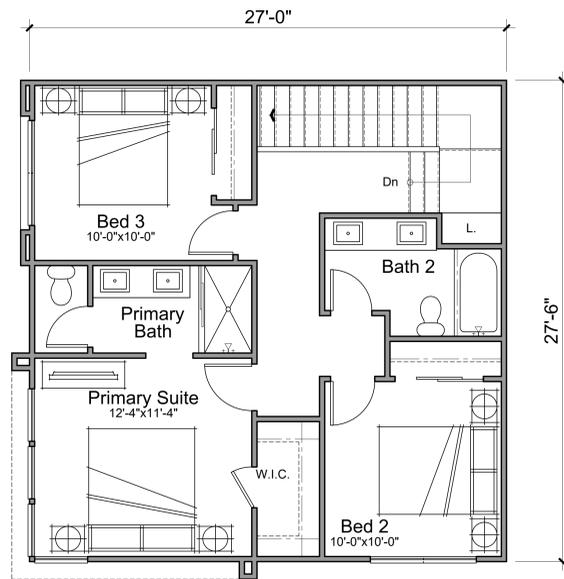
Third Floor Mirrored



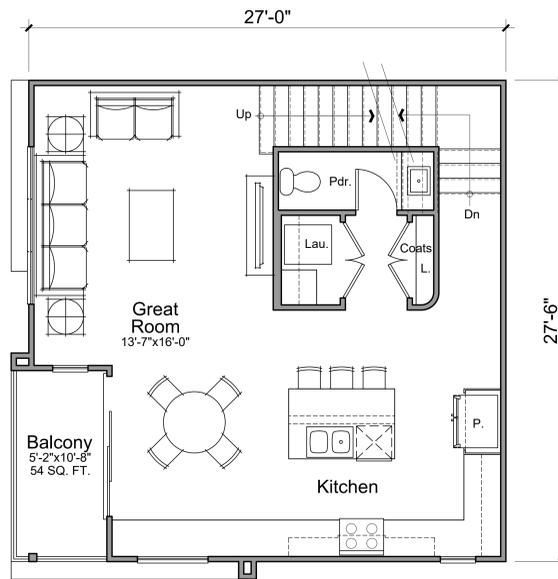
Second Floor Mirrored



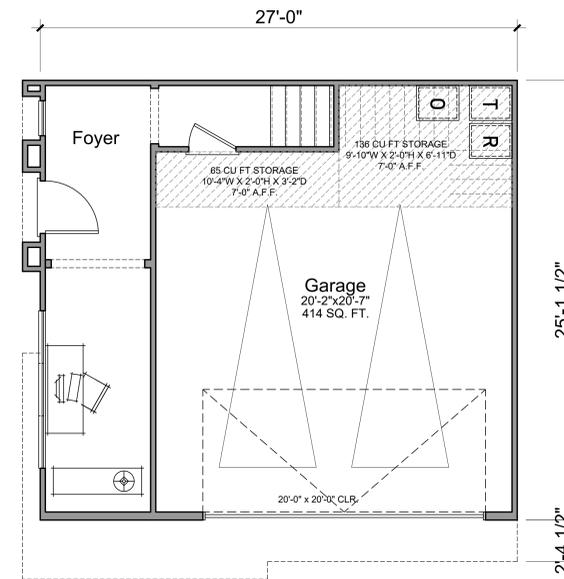
First Floor Mirrored



Third Floor



Second Floor



First Floor

Plan 2
3 Bed, 2.5 Bath

	NET SQ. FT.	GROSS SQ. FT.
1ST FLOOR	226 SQ. FT.	202 SQ. FT.
2ND FLOOR	663 SQ. FT.	696 SQ. FT.
3RD FLOOR	643 SQ. FT.	744 SQ. FT.
TOTAL LIVING	1532 SQ. FT.	1643 SQ. FT.



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SCHEMATIC DESIGN
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ROWTOWNS - PERSPECTIVE
4 - PLEX

AB1.0



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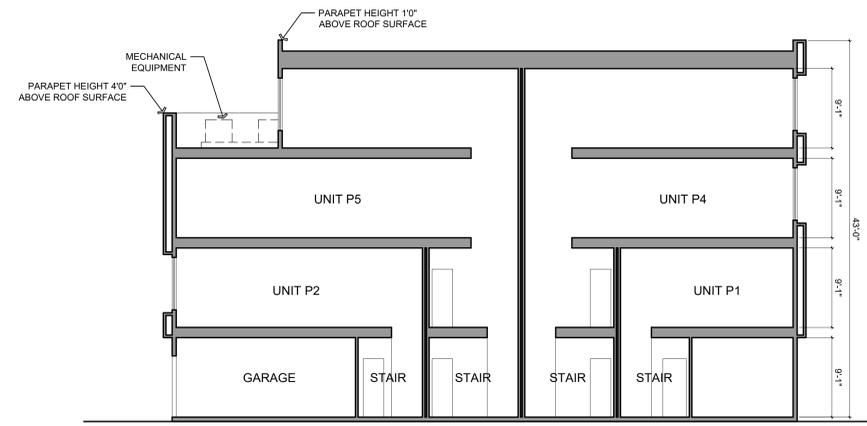
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SCHEMATIC DESIGN
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ROWTOWNS - PERSPECTIVE
6 - PLEX

AB1.1



4-Plex Section 1

- Material Legend**
1. Parapet Roof
 2. Sliding Door
 3. Stucco - 16 /20 Sand Float Finish
 4. Fiber Cement Siding
 5. Vinyl Windows
 6. Fiber Cement Trim
 7. Foam Trim w/ Stucco Over
 8. Entry Door
 9. Sectional Garage Door
 10. Light Fixture
 11. Metal/Glass Railing
 12. Utility Door



Left Elevation



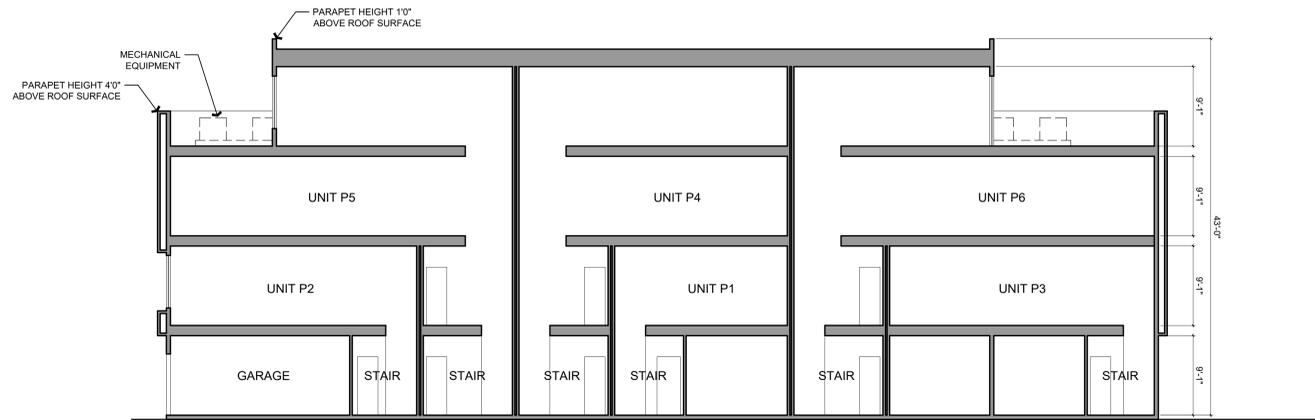
Front Elevation



Right Elevation



Rear Elevation



6-Plex Section 2

- Material Legend**
1. Parapet Roof
 2. Sliding Door
 3. Stucco - 16 /20 Sand Float Finish
 4. Fiber Cement Siding
 5. Vinyl Windows
 6. Fiber Cement Trim
 7. Foam Trim w/ Stucco Over
 8. Entry Door
 9. Sectional Garage Door
 10. Light Fixture
 11. Metal/Glass Railing
 12. Utility Door



Left Elevation



Front Elevation



Right Elevation



Rear Elevation



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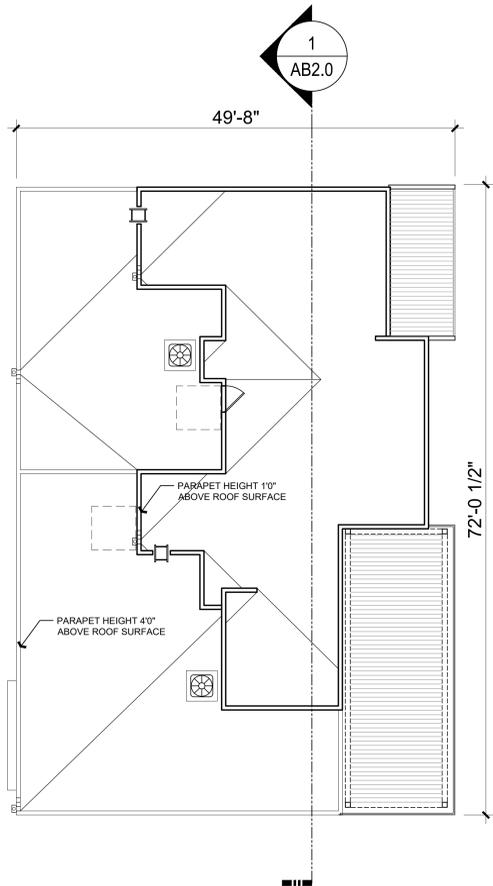
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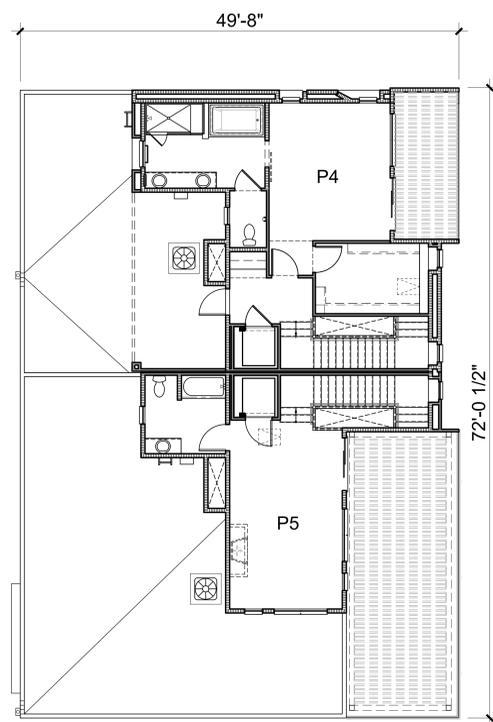


ROWTOWNS - ELEVATIONS
6 - PLEX

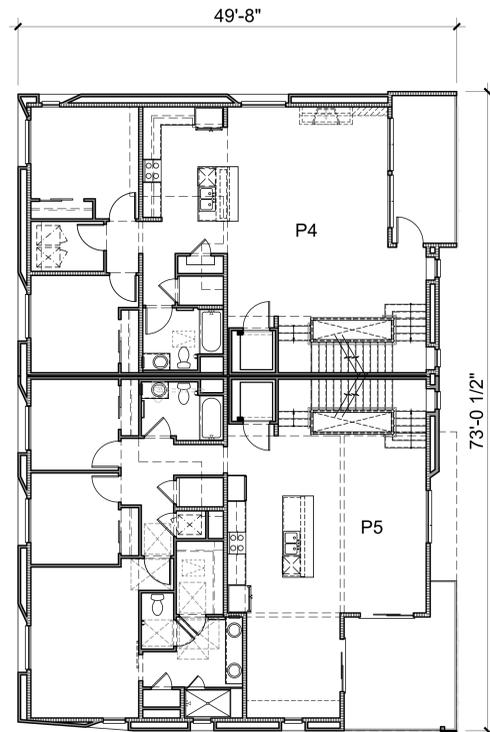
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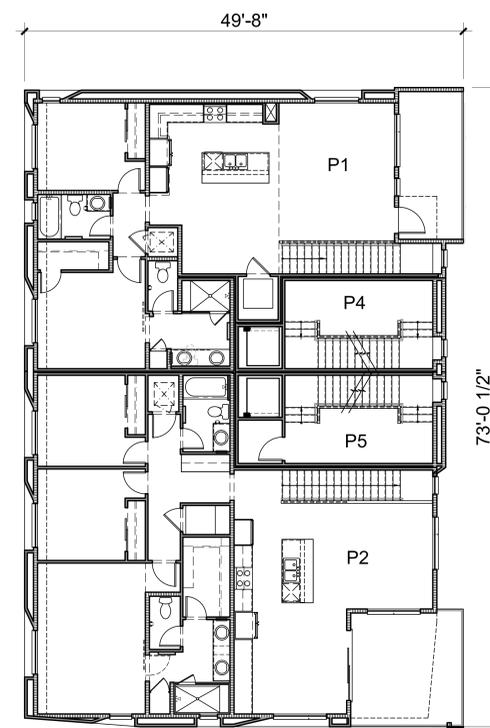
ROOF



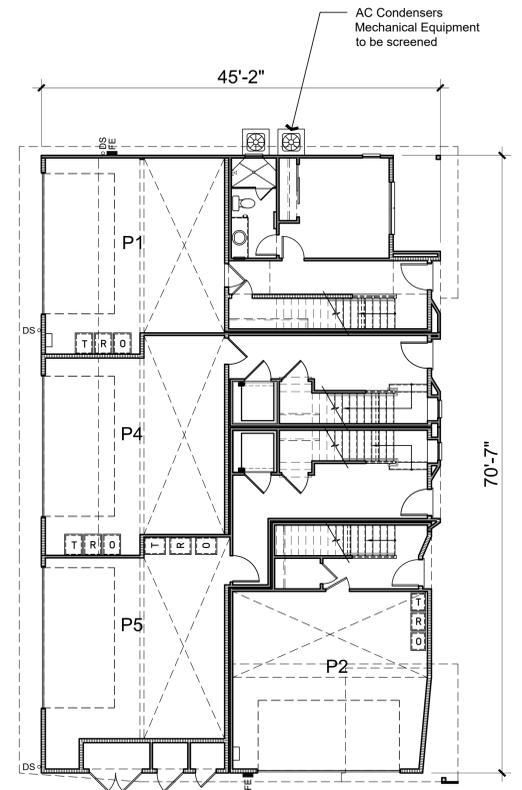
FOURTH FLOOR



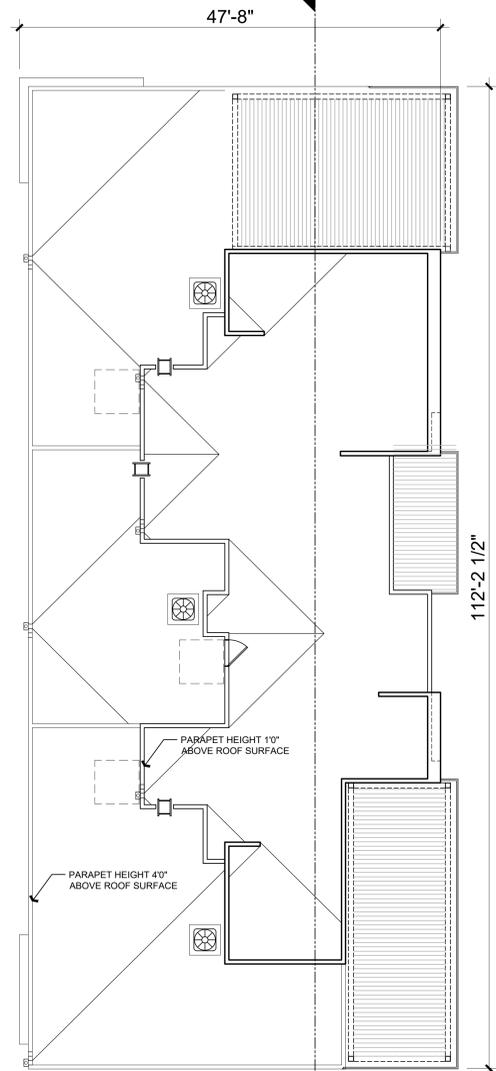
THIRD FLOOR



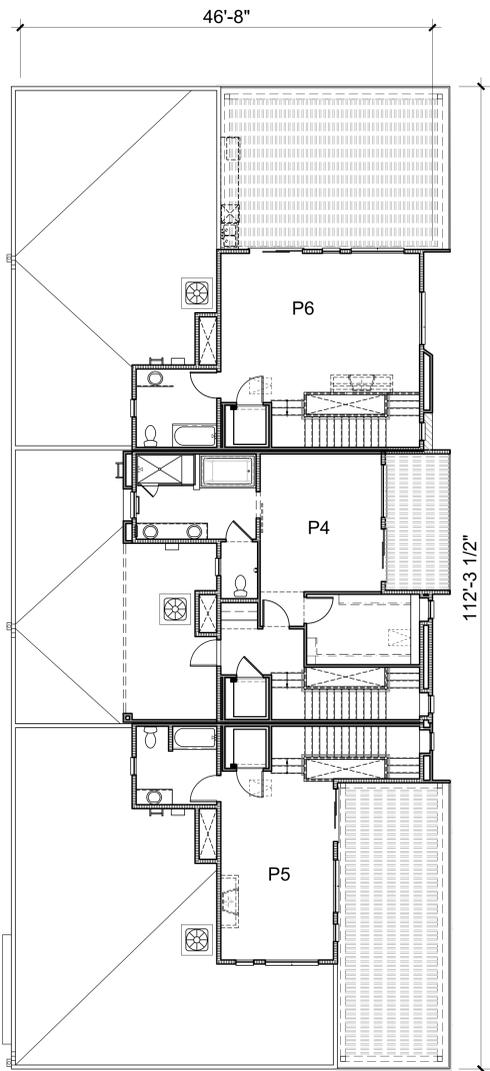
SECOND FLOOR



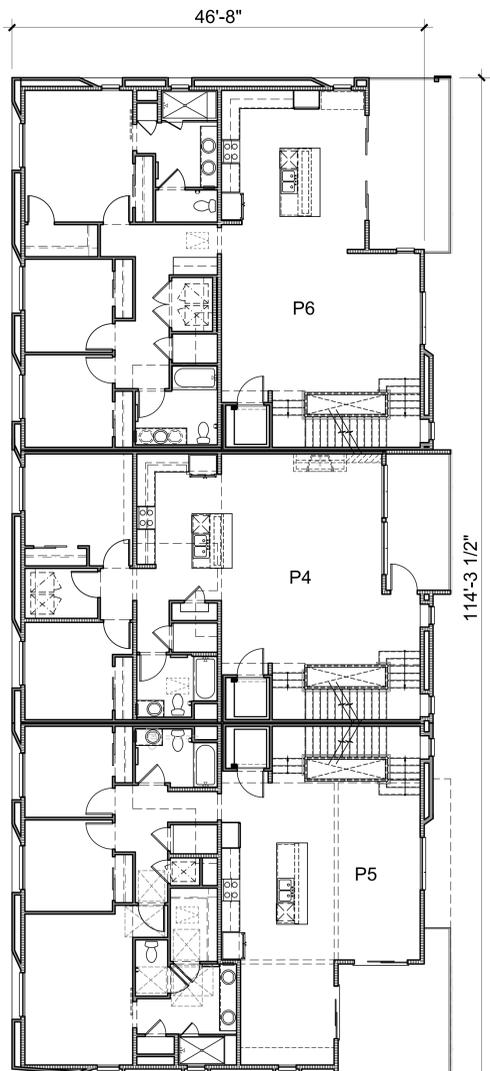
FIRST FLOOR



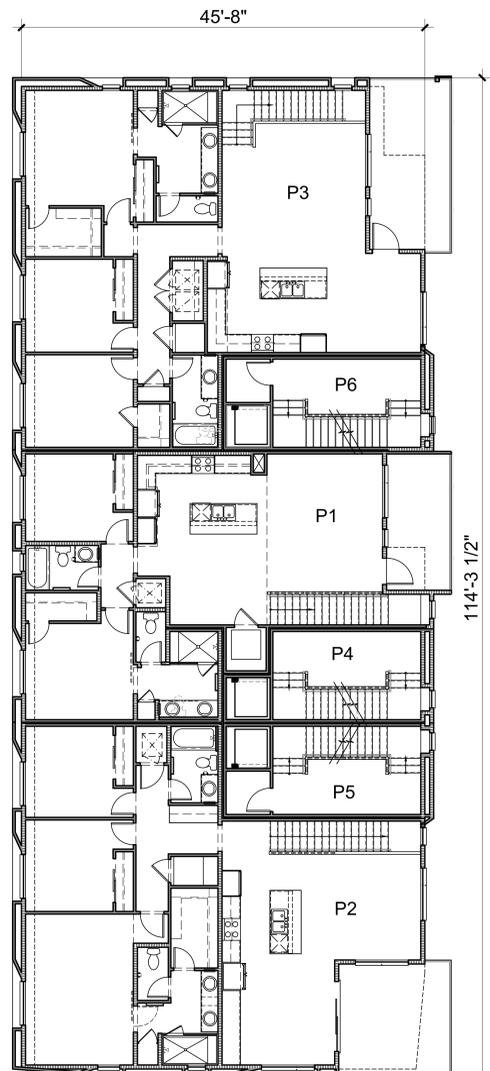
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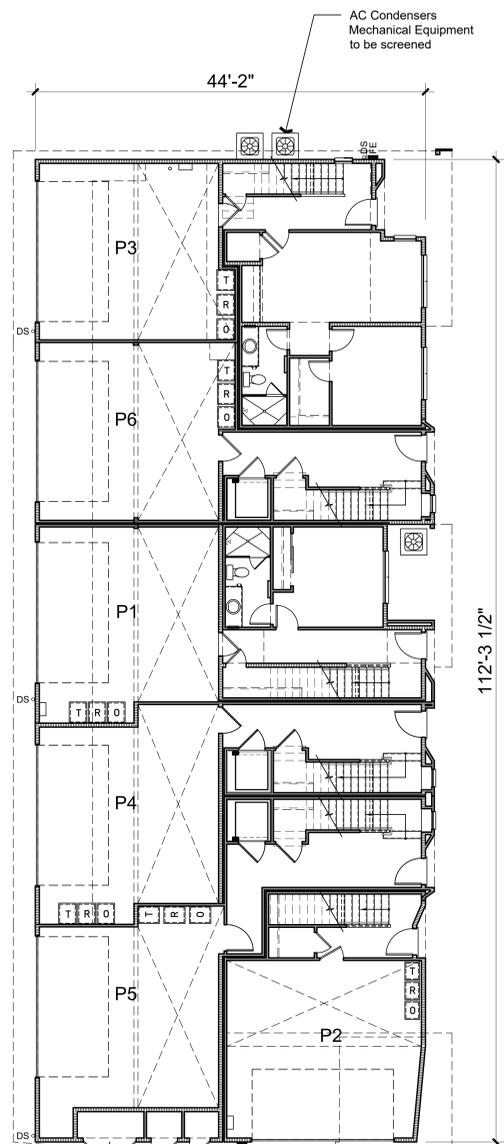
FOURTH FLOOR



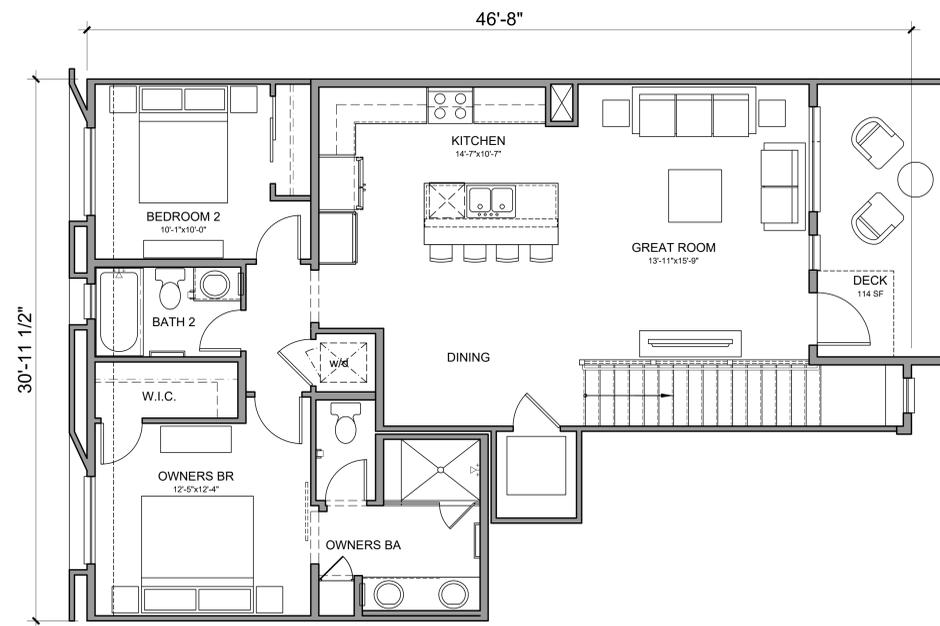
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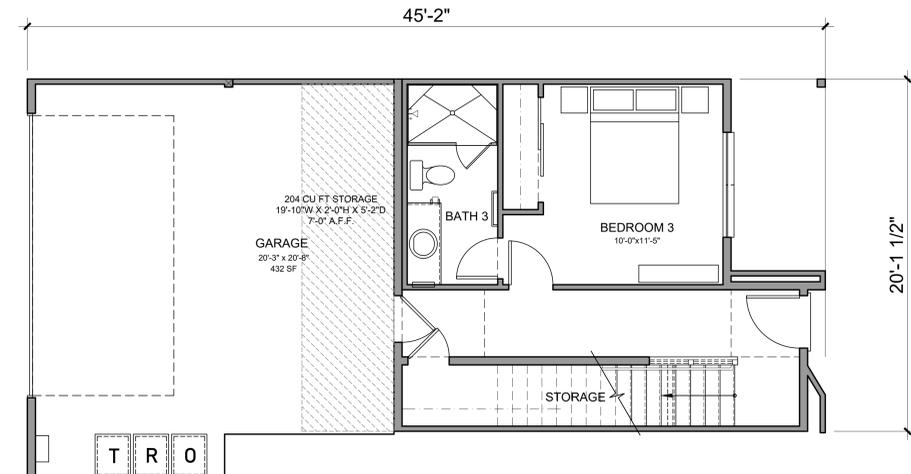
SECOND FLOOR



FIRST FLOOR



SECOND FLOOR



FIRST FLOOR

Plan 1
3 Bed, 3 Bath

	NET SQ. FT.	GROSS SQ. FT.
1ST FLOOR	389 SQ. FT.	425 SQ. FT.
2ND FLOOR	1005 SQ. FT.	1055 SQ. FT.
TOTAL LIVING	1393 SQ. FT.	1480 SQ. FT.



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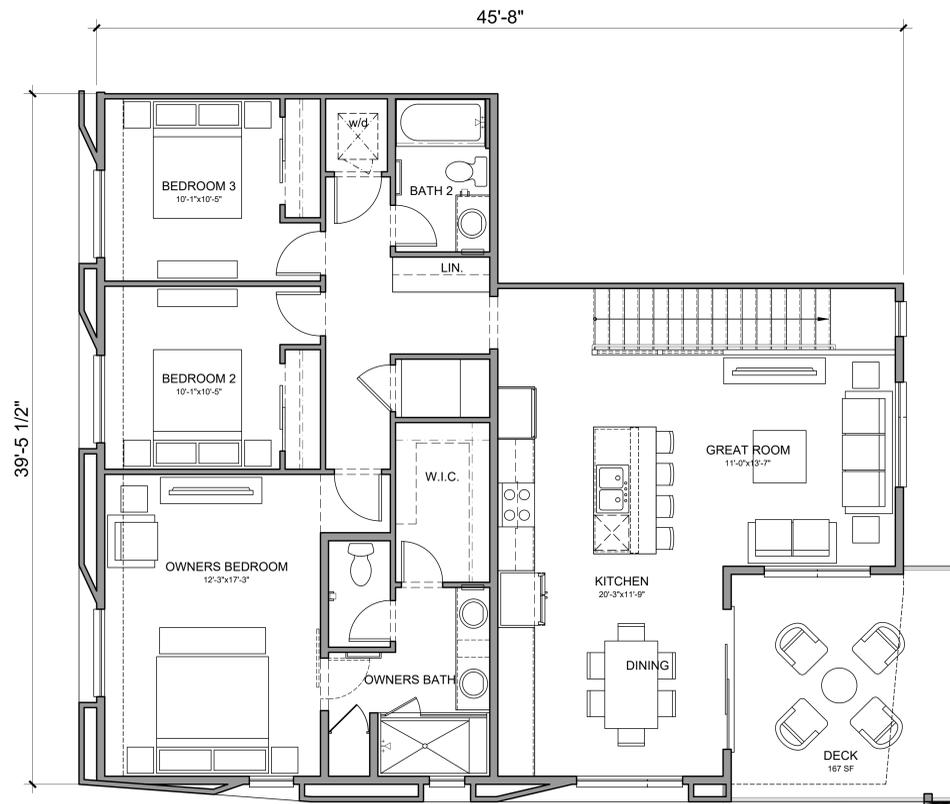
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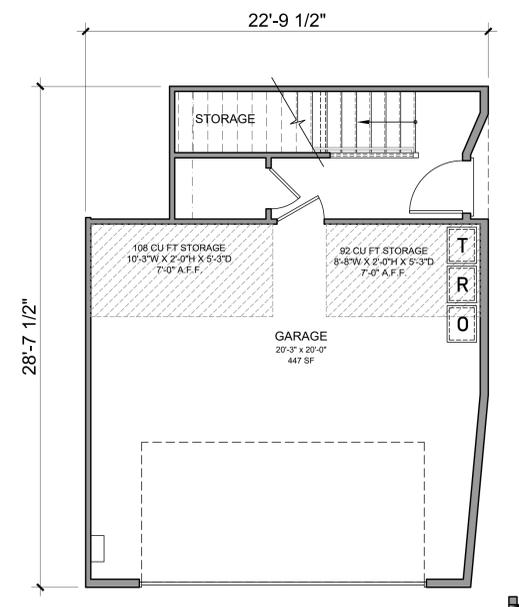


ROWTOWNS - UNIT PLANS
PLAN 1

AB4.0



SECOND FLOOR



FIRST FLOOR

Plan 2
3 Bed, 2 Bath

	NET SQ. FT.	GROSS SQ. FT.
1ST FLOOR	126 SQ. FT.	142 SQ. FT.
2ND FLOOR	1306 SQ. FT.	1372 SQ. FT.
TOTAL LIVING	1432 SQ. FT.	1514 SQ. FT.



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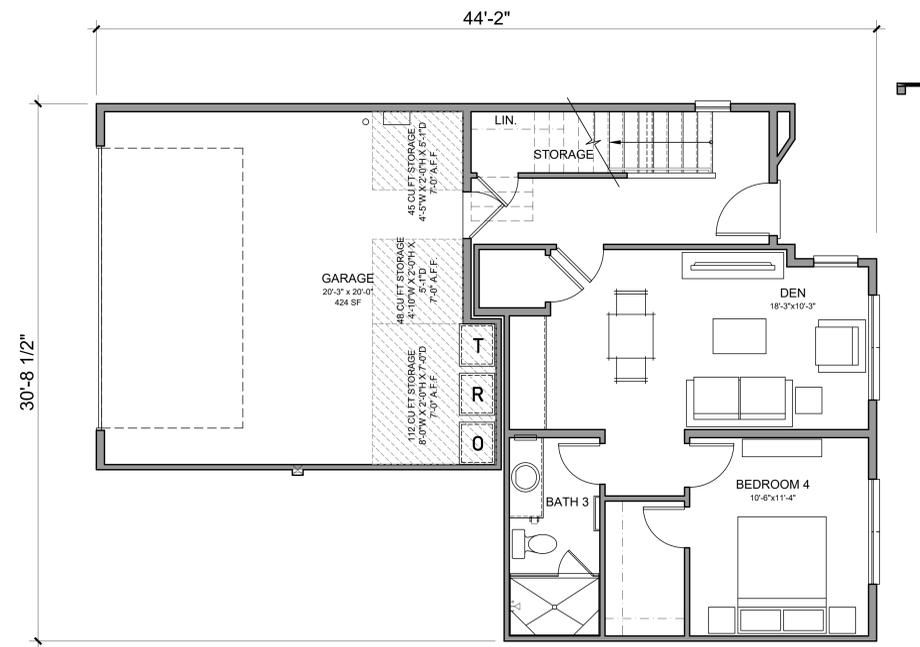


ROWTOWNS - UNIT PLANS
PLAN 2

AB4.1



SECOND FLOOR



FIRST FLOOR

Plan 3
4 Bed, 3 Bath

	NET SQ. FT.	GROSS SQ. FT.
1ST FLOOR	596 SQ. FT.	639 SQ. FT.
2ND FLOOR	1403 SQ. FT.	1466 SQ. FT.
TOTAL LIVING	1999 SQ. FT.	2105 SQ. FT.



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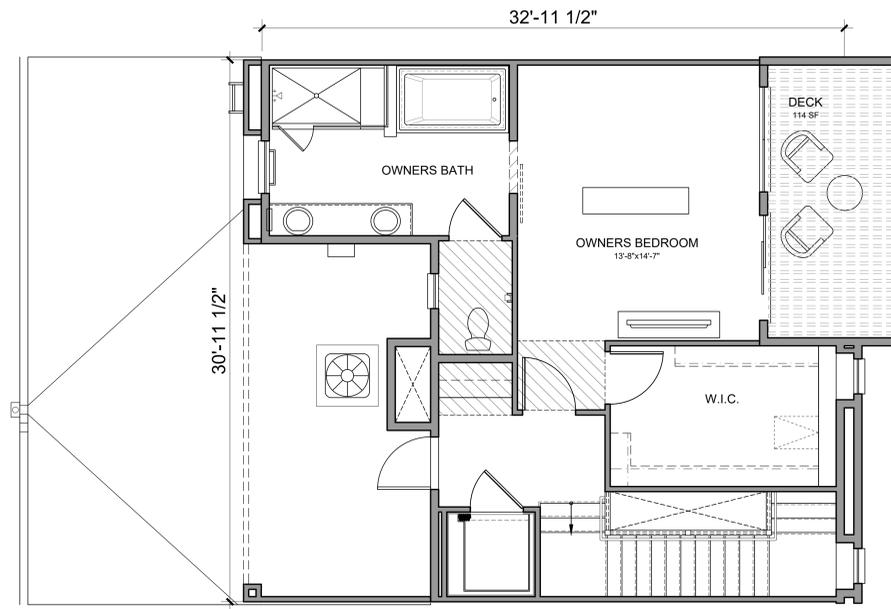
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TORRANCE, CA # 2020-0686

SCHEMATIC DESIGN
MAY 30, 2024

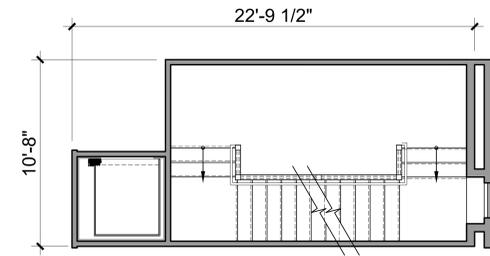


ROWTOWNS - UNIT PLANS
PLAN 3

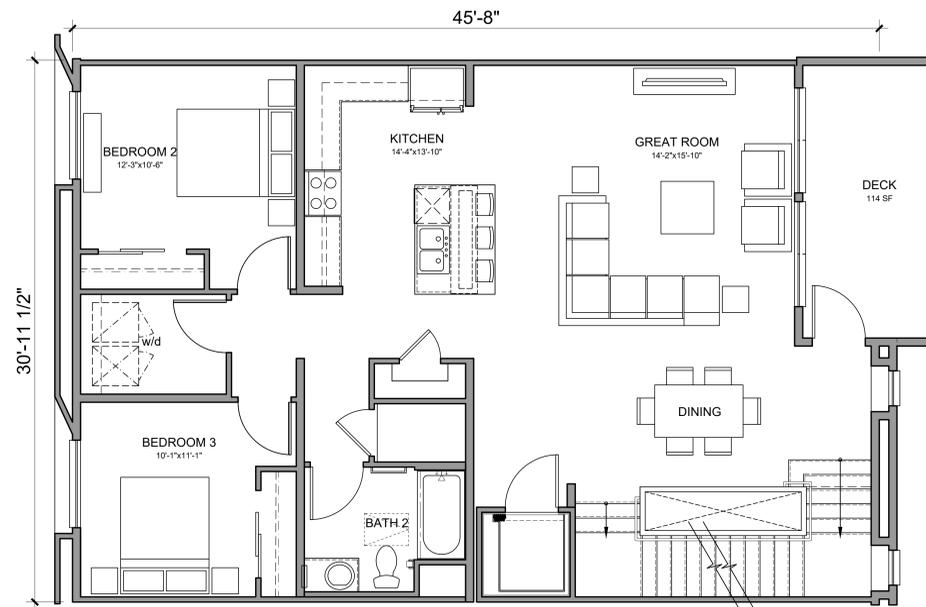
AB4.2



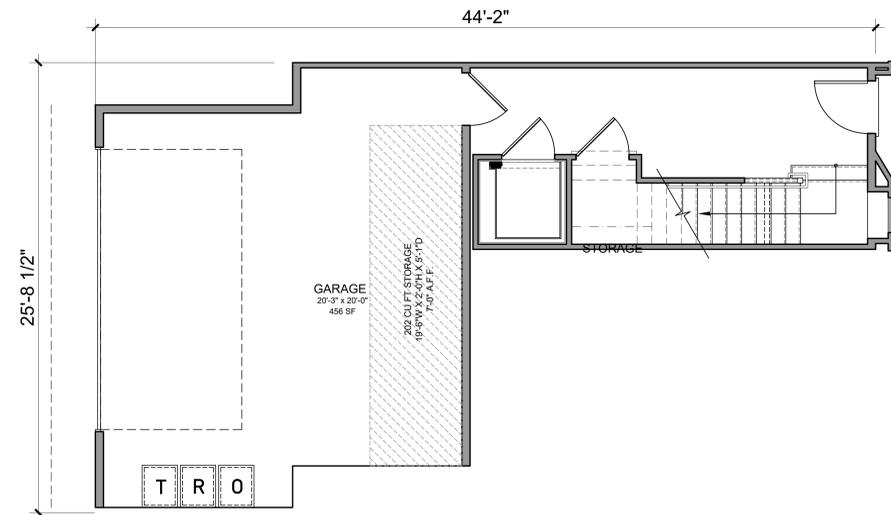
FOURTH FLOOR



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

Plan 4
3 Bed, 2 Bath

	NET SQ. FT.	GROSS SQ. FT.
1ST FLOOR	227 SQ. FT.	250 SQ. FT.
2ND FLOOR	142 SQ. FT.	182 SQ. FT.
3RD FLOOR	1234 SQ. FT.	1291 SQ. FT.
4TH FLOOR	579 SQ. FT.	618 SQ. FT.
TOTAL LIVING	2182 SQ. FT.	2340 SQ. FT.



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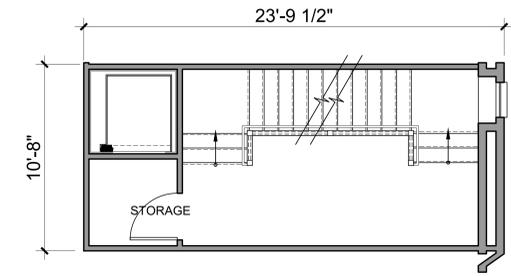


ROWTOWNS - UNIT PLANS
PLAN 4

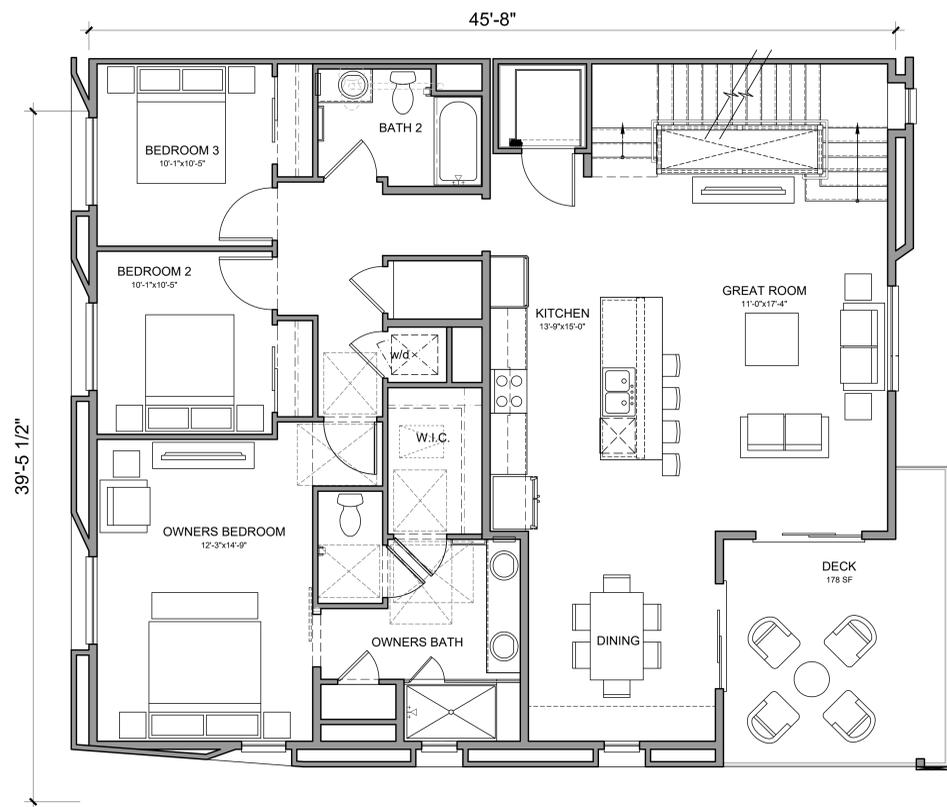
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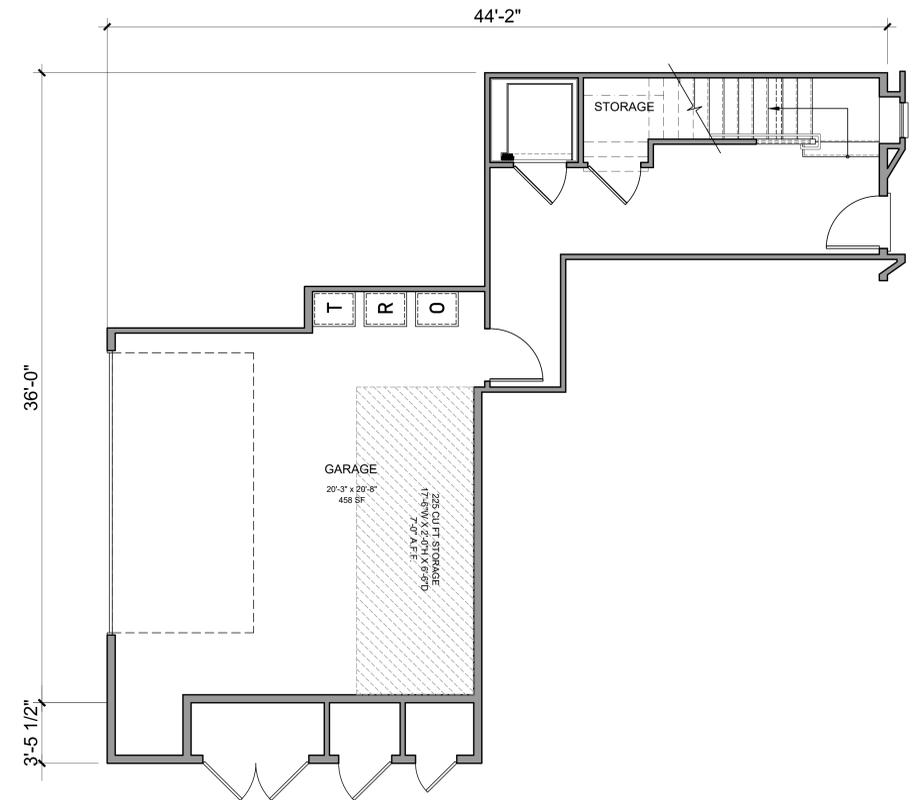
FOURTH FLOOR



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

Plan 5
3 Bed, 3 Bath

	NET SQ. FT.	GROSS SQ. FT.
1ST FLOOR	258 SQ. FT.	284 SQ. FT.
2ND FLOOR	175 SQ. FT.	194 SQ. FT.
3RD FLOOR	1557 SQ. FT.	1626 SQ. FT.
4TH FLOOR	352 SQ. FT.	296 SQ. FT.
TOTAL LIVING	2342 SQ. FT.	2399 SQ. FT.



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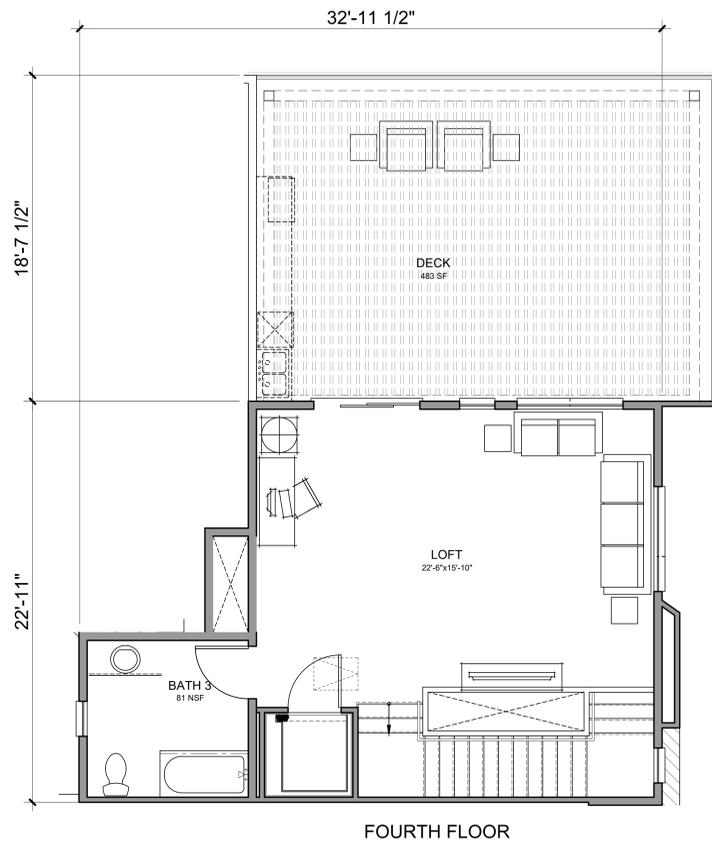
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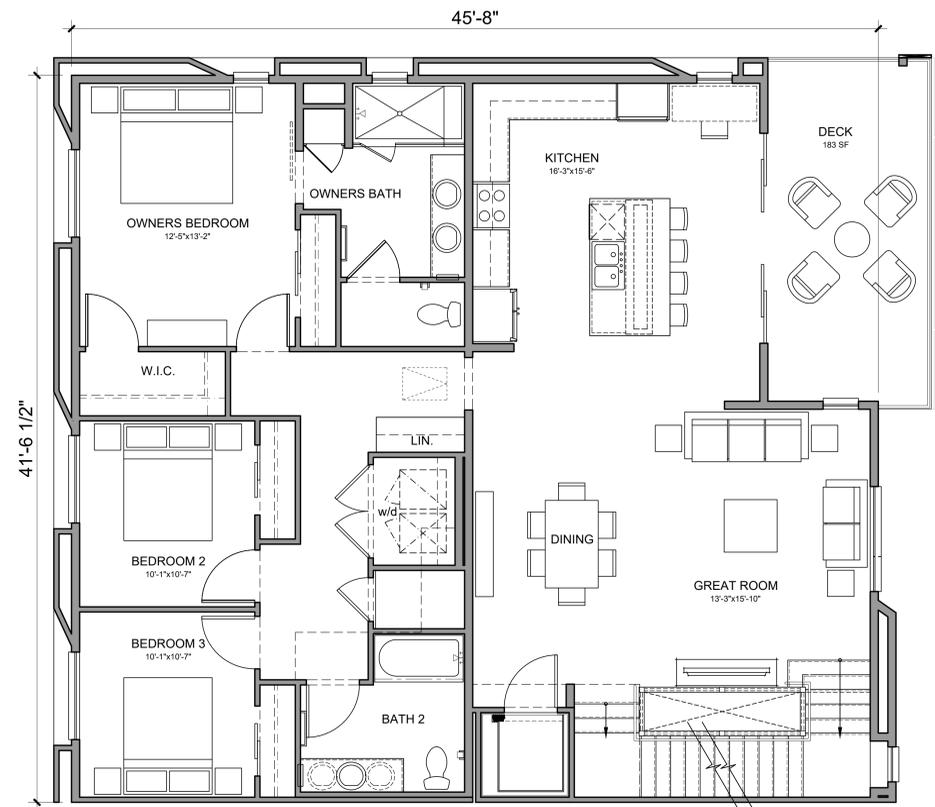


ROWTOWNS - UNIT PLANS
PLAN 5

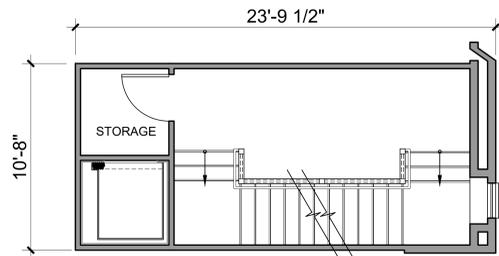
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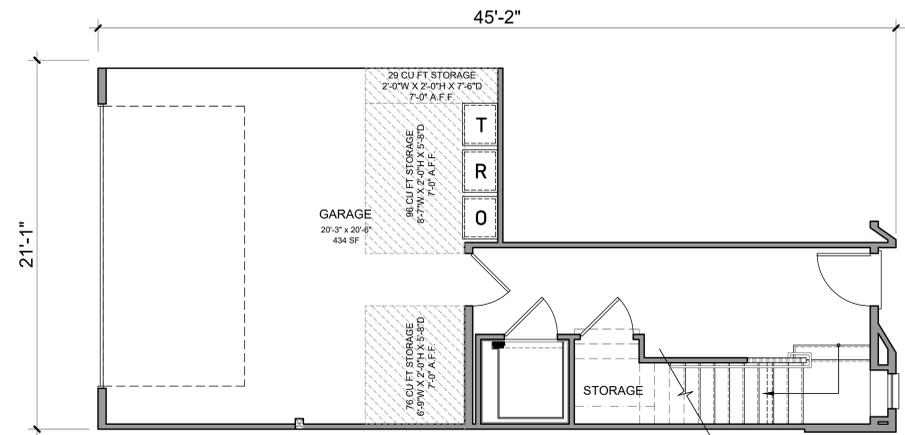
FOURTH FLOOR



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

Plan 6
3 Bed, 3 Bath

	NET SQ. FT.	GROSS SQ. FT.
1ST FLOOR	232 SQ. FT.	256 SQ. FT.
2ND FLOOR	168 SQ. FT.	187 SQ. FT.
3RD FLOOR	1647 SQ. FT.	1724 SQ. FT.
4TH FLOOR	451 SQ. FT.	395 SQ. FT.
TOTAL LIVING	2499 SQ. FT.	2562 SQ. FT.



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ROWTOWNS - UNIT PLANS
UNIT 6

AB4.5

MATERIAL NOTES:
 1- STUCCO
 2- COMPOSITE SIDING
 3- METAL POST
 4- METAL RAILING
 5- STONE VENEER
 6- MURAL



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6-UNIT BUILDING | FRONT ELEVATION

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MATERIAL NOTES:
 1- STUCCO
 2- COMPOSITE SIDING
 3- METAL POST
 4- METAL RAILING
 5- STONE VENEER
 6- MURAL



03.27.2024

6-UNIT BUILDING | REAR ELEVATION

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- 1- STUCCO
- 2- COMPOSITE SIDING
- 3- METAL POST
- 4- METAL RAILING
- 5- STONE VENEER
- 6-MURAL



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

03.27.2024

6-UNIT BUILDING | SIDE ELEVATION

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MATERIAL NOTES:
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 3- METAL POST
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 5- STONE VENEER



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12-UNIT BUILDING | FRONT ELEVATION

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MATERIAL NOTES:
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 3- METAL POST
 4- METAL RAILING
 5- STONE VENEER



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12-UNIT BUILDING | REAR ELEVATION

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- 1- STUCCO
- 2- COMPOSITE SIDING
- 3- METAL POST
- 4- METAL RAILING
- 5- STONE VENEER



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

03.27.2024

12-UNIT BUILDING | SIDE ELEVATION
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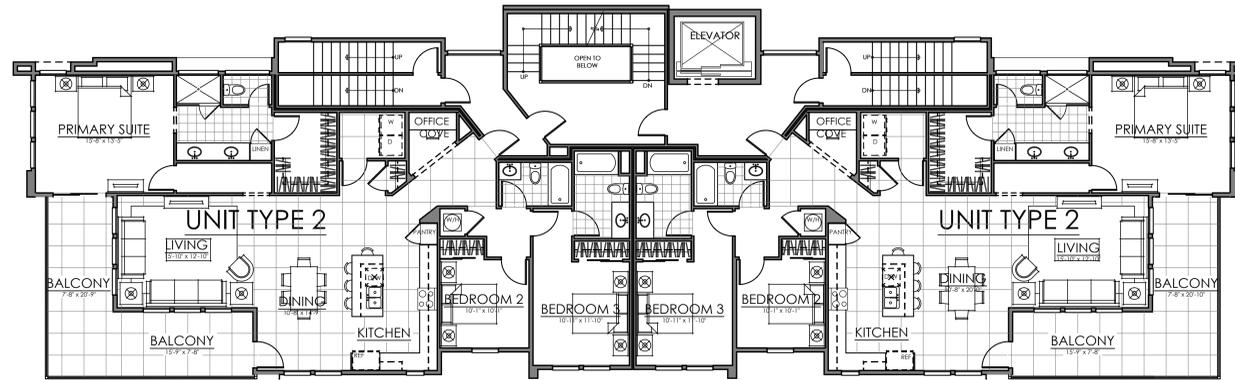
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AC2.5

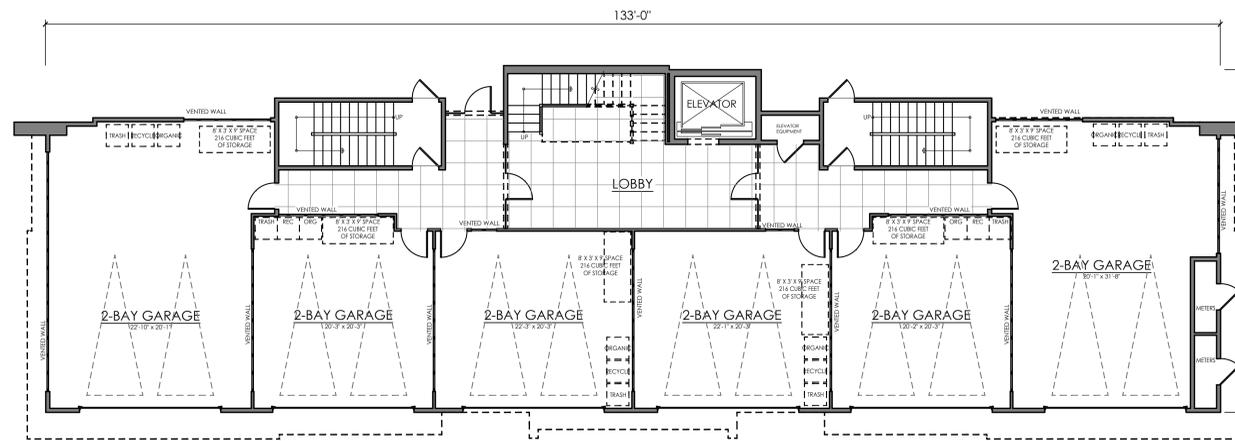
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SECOND FLOOR PLAN

UNIT TYPE 2
TOTAL LIVING 1,751 SQ. FT.

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

03.27.2024

6-UNIT BUILDING | OVERALL FLOOR PLANS

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NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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AC3.0



FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

UNIT TYPE 5	
UNIT LIVING	1,751 SQ. FT.
MEZZANINE	284 SQ. FT.
TOTAL LIVING	2,035 SQ. FT.



THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

UNIT TYPE 2	
TOTAL LIVING	1,751 SQ. FT.

03.27.2024

6-UNIT BUILDING | OVERALL FLOOR PLANS
DEL AMO | LENNAR HOMES
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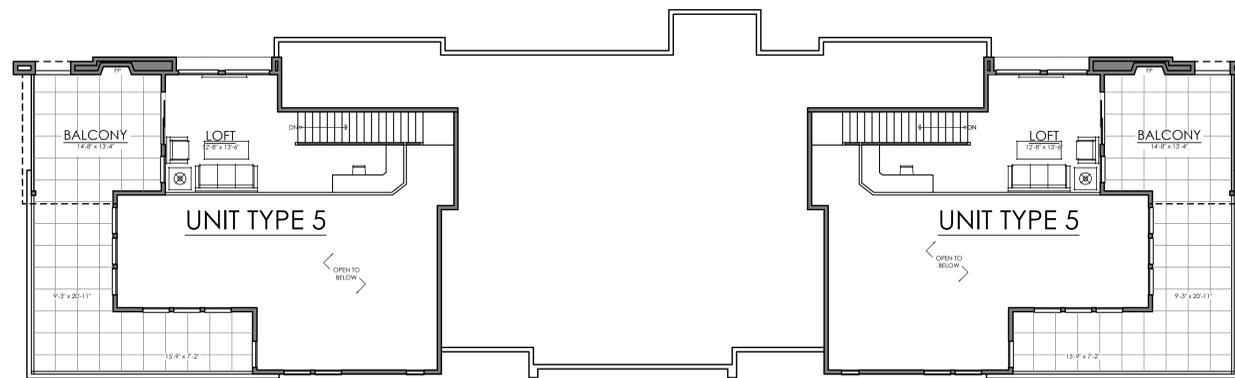
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MEZZANINE FLOOR PLAN

SCALE: 1/8" = 1'-0"

UNIT TYPE 5
 UNIT LIVING
 MEZZANINE
 TOTAL LIVING

1,751 SQ. FT.
 284 SQ. FT.
 2,035 SQ. FT.

03.27.2024

6-UNIT BUILDING | OVERALL FLOOR PLANS

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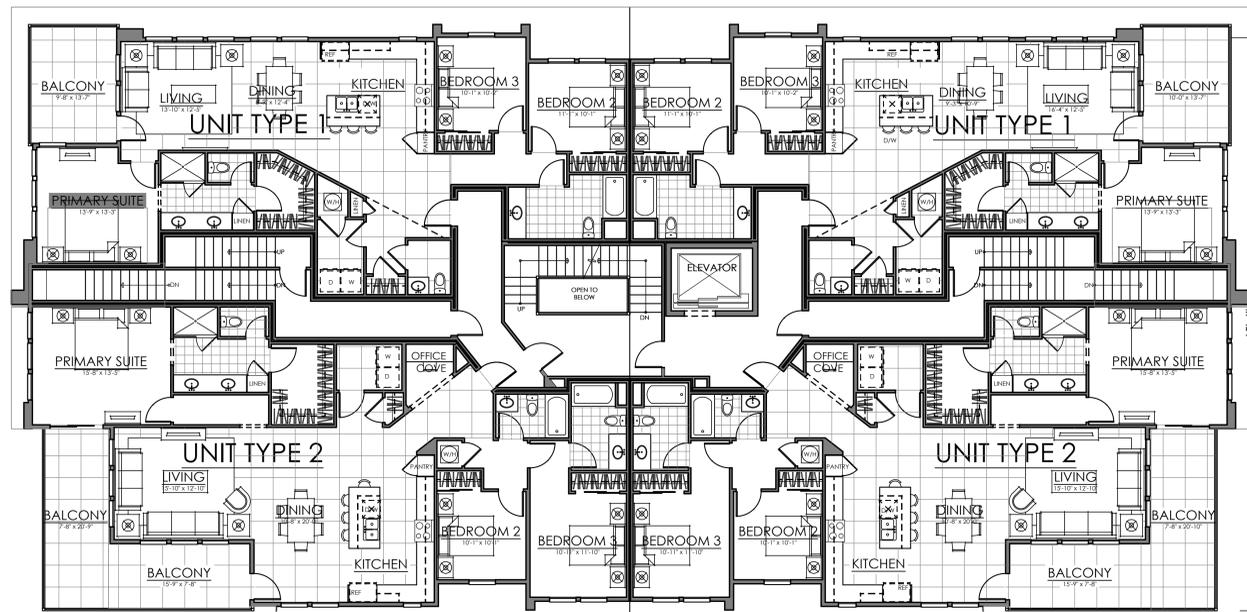
NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

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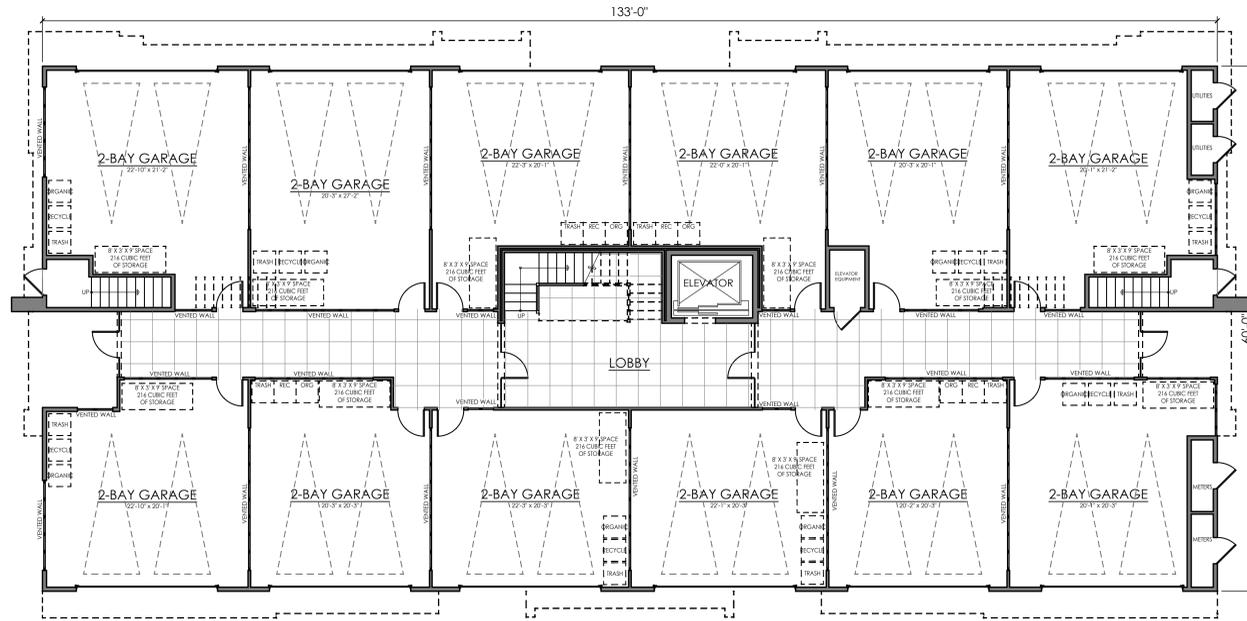


UNIT TYPE 1
TOTAL LIVING 1,525 SQ. FT.

UNIT TYPE 2
TOTAL LIVING 1,751 SQ. FT.

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

03.27.2024

12-UNIT BUILDING | OVERALL FLOOR PLANS

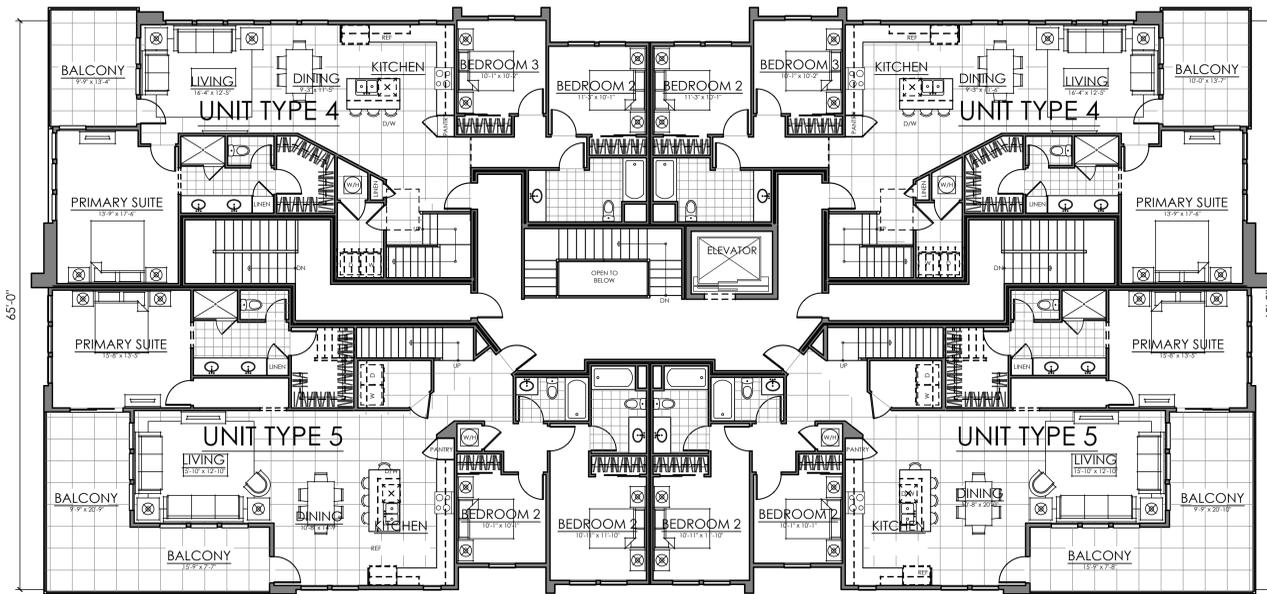
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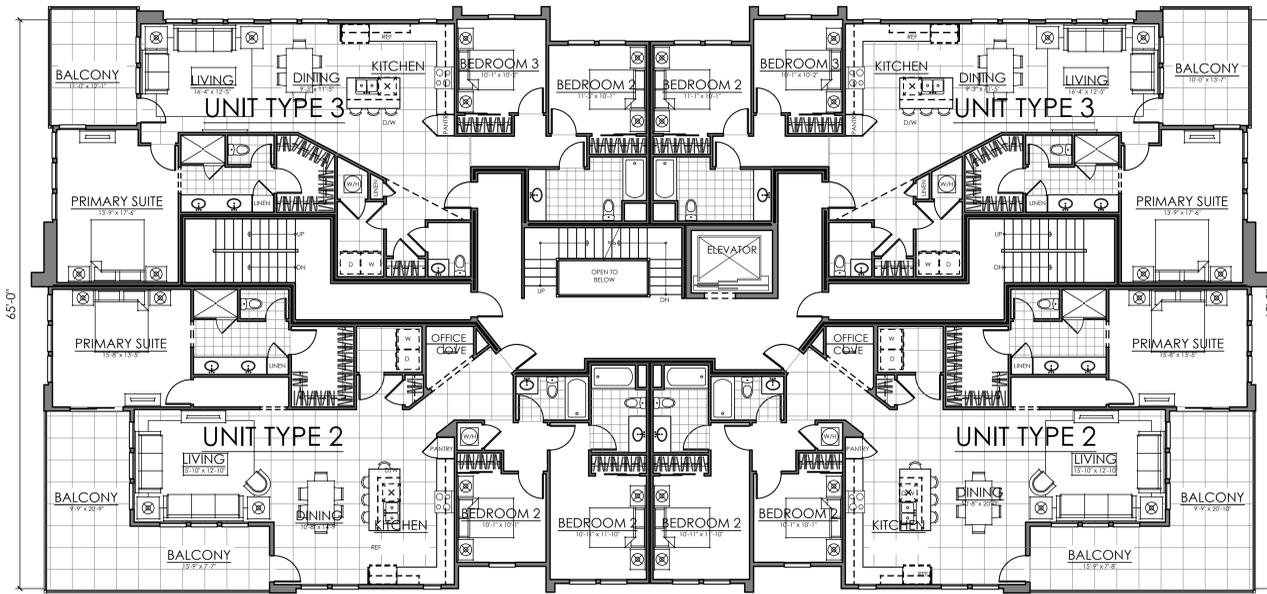


FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

UNIT TYPE 4
 UNIT LIVING 1,583 SQ. FT.
 MEZZANINE 302 SQ. FT.
TOTAL LIVING 1,885 SQ. FT.

UNIT TYPE 5
 UNIT LIVING 1,751 SQ. FT.
 MEZZANINE 284 SQ. FT.
TOTAL LIVING 2,035 SQ. FT.



THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

UNIT TYPE 3
TOTAL LIVING 1,583 SQ. FT.

UNIT TYPE 2
TOTAL LIVING 1,751 SQ. FT.

03.27.2024

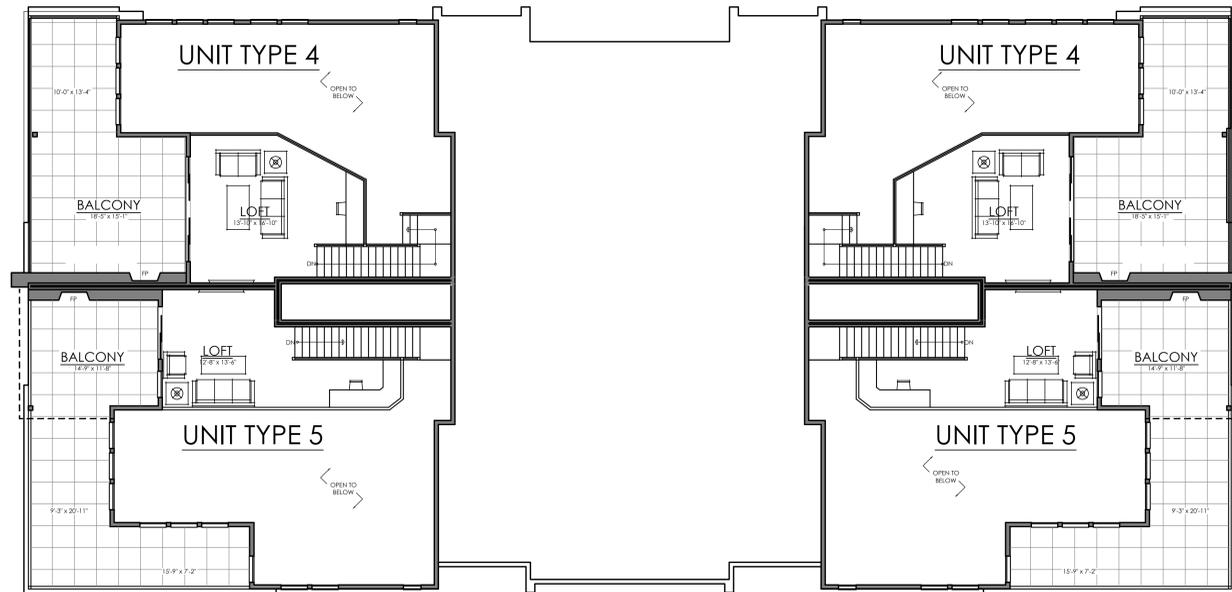
12-UNIT BUILDING | OVERALL FLOOR PLANS
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MEZZANINE FLOOR PLAN

SCALE: 1/8" = 1'-0"

UNIT TYPE 4
 UNIT LIVING 1,583 SQ. FT.
 MEZZANINE 302 SQ. FT.
TOTAL LIVING 1,885 SQ. FT.

UNIT TYPE 5
 UNIT LIVING 1,751 SQ. FT.
 MEZZANINE 284 SQ. FT.
TOTAL LIVING 2,035 SQ. FT.

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12-UNIT BUILDING | OVERALL FLOOR PLANS

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AC3.5



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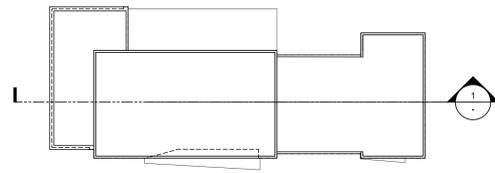
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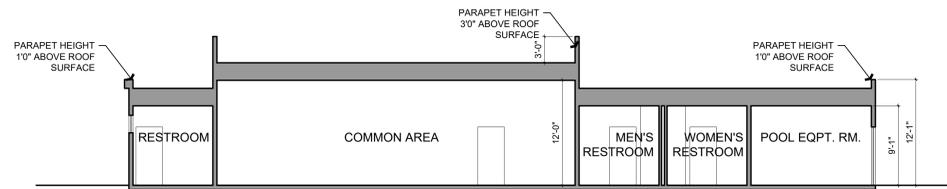
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REC BUILDING - PERSPECTIVE

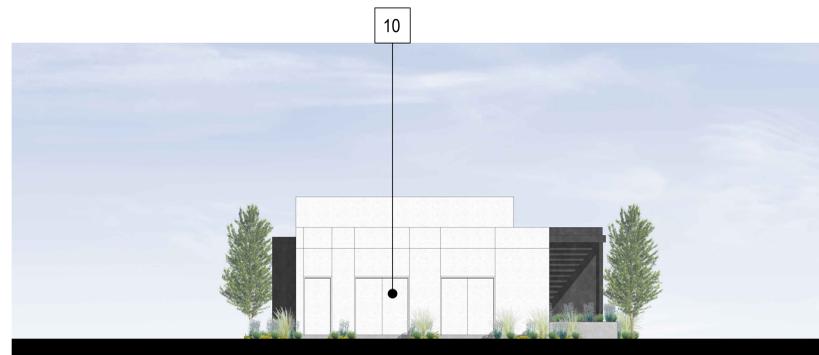
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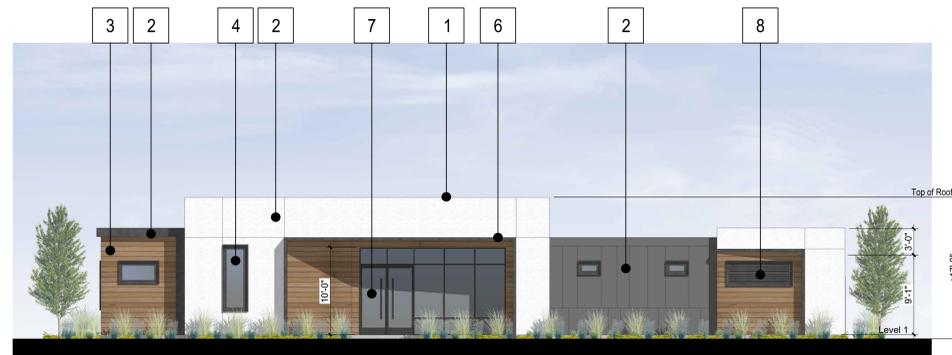
Roof Plan
Scale: 1/16"=1'-0"



Section 1



Left Elevation



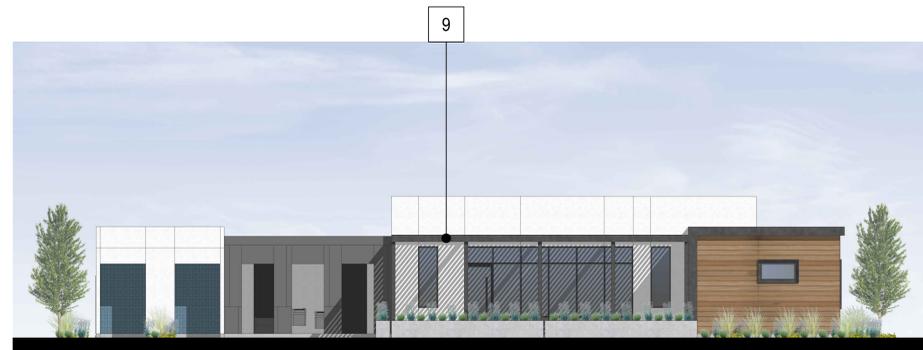
Front Elevation

Material Legend

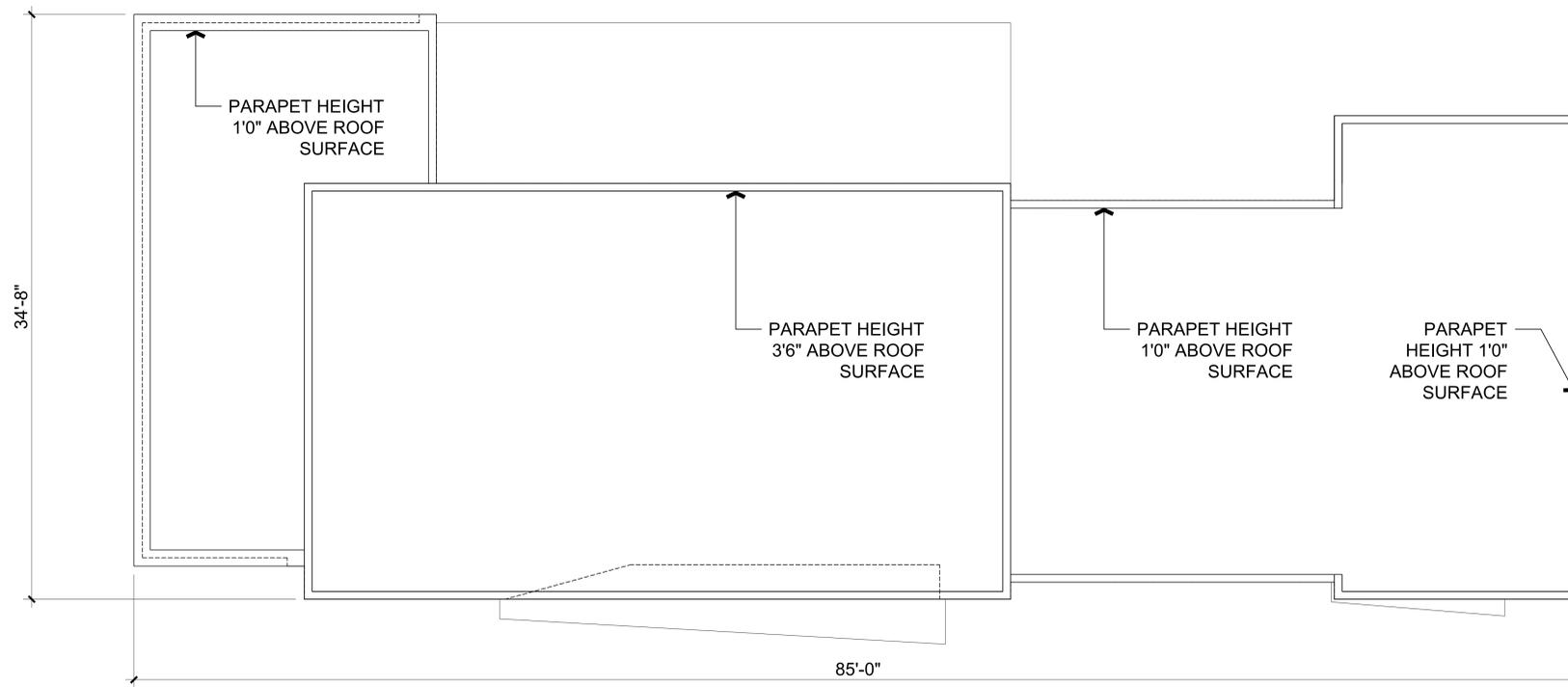
- 1. Parapet Roof
- 2. Stucco - 16 /20 Sand Float Finish
- 3. Fiber Cement Horizontal Siding
- 4. Vinyl Windows
- 5. Fiber Cement Trim
- 6. Metal Trim
- 7. Metal Storefront
- 8. Metal Grille/Vent
- 9. Metal Trellis
- 10. Utility Doors



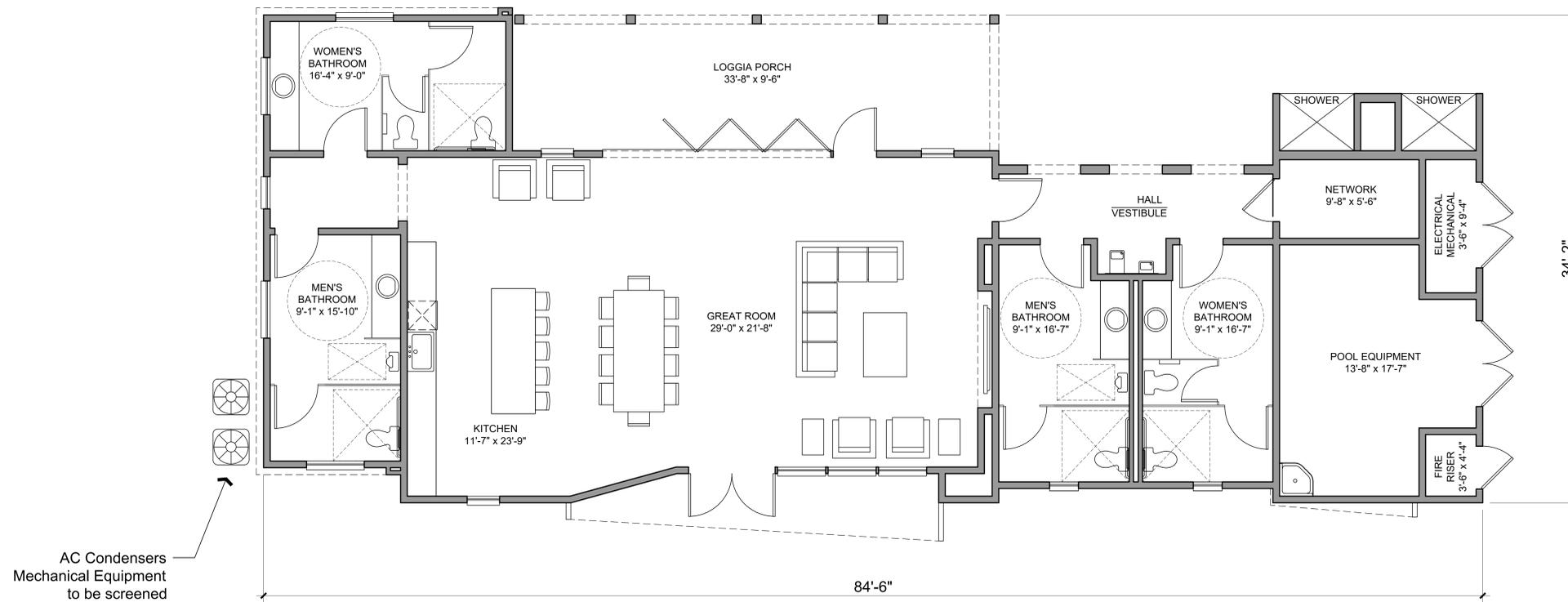
Right Elevation



Rear Elevation



Roof Plan



Floor Plan

RECREATIONAL CENTER - GROSS FLOOR AREA	
GREAT ROOM	680 SQ. FT.
KITCHEN	297 SQ. FT.
WOMEN'S RESTROOM - POOL	156 SQ. FT.
MEN'S RESTROOM - POOL	154 SQ. FT.
WOMEN'S RESTROOM - REC	192 SQ. FT.
MEN'S RESTROOM - REC	183 SQ. FT.
FIRE RISER ROOM	23 SQ. FT.
NETWORK	62 SQ. FT.
ELEC	46 SQ. FT.
TOTAL (INDOOR)	1792 SQ. FT.
POOL EQUIPMENT	229 SQ. FT.
SHOWER	41 SQ. FT.
TOTAL (OUTDOOR)	271 SQ. FT.
TOTAL BUILDING	2063 SQ. FT.
VESTIBULE/HALL	116 SQ. FT.
LOGGIA PORCH	320 SQ. FT.
TOTAL (COVERED PATIO)	436 SQ. FT.
TOTAL	2499 SQ. FT.